

# BEMIDJI PLANNING COMMISSION REGULAR MEETING AGENDA

Thursday, September 18, 2025

**Council Chambers**  
**City Hall – 317 4th Street NW**  
**5:30 PM**



- 1. CALL MEETING TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGIANCE TO THE FLAG**
- 4. APPROVAL OF AGENDA**
- 5. APPROVAL OF MEETING MINUTES**
  - a. July 24, 2025 Planning Commission Meeting Minutes
- 6. VISITORS WITH BUSINESS NOT ON THE AGENDA**
- 7. NEW BUSINESS**
  - b. Public Hearing: Rezone Request for Parcel 80.03316.00 - S&D Glass
  - c. Review 2026 Meeting Calendar
- 8. UPCOMING COMMISSION MEETINGS**
  - d. October 23, 2025 Planning Commission Meeting
- 9. ADJOURN**

**PLANNING COMMISSION  
BEMIDJI, MINNESOTA  
Regular Meeting – July 24, 2025**

**CALL TO ORDER:** Chair Don Heinonen called the regular meeting of the City of Bemidji Planning Commission to order at **5:30 p.m.** Roll call was taken, and the pledge of allegiance was recited.

**Members present:** Heinonen, Lemmer, McCoy, Peterson, Meehlhause.

**Members absent:** Faver.

**Staff Present:** Planning Director Jamin Carlson, Compliance Inspector & Site Analyst Dave Wielenberg, Planning Administrative Assistant Ainslee Krause.

**Others Present:** Troy Gilchrist (via WebEx), Dave Hengel (via WebEx), John Hamrin (via WebEx), Nancy (via WebEx), Michael Johnston, Les Sanders, Gary Smith, Ryan Haasch, Jeff Cwikla, Tim Marco, Mark McLane, Carl Johnson.

**AGENDA**

Chair Heinonen called for any amendments to the agenda. Motion by **Lemmer**, seconded by **Meehlhause**, to approve the agenda. Motion carried by unanimous voice vote.

**MINUTES**

The minutes for the **June 26, 2025**, Planning Commission meeting were presented for approval. Motion by **Meehlhause**, seconded by **Lemmer**, approving minutes as presented. Motion carried by unanimous voice vote.

**VISITORS WITH BUSINESS NOT ON AGENDA:** No appearance.

**NEW BUSINESS**

**PUBLIC HEARING: VARIANCE & INTERIM USE PERMIT REQUEST – VOYAGEURS EXPEDITIONARY SCHOOL**

Carlson presented the planning case request: Voyageurs Expeditionary School is requesting a variance from impervious surface requirements under the shoreland overlay and an amendment to the approved interim use permit amendment Resolution 2014-02 on leased property (JC Properties of Bemidji, LLC) to operate a private school. The variance is to increase the impervious surface coverage by 8% over existing to allow for a building addition. The amendment request is to increase total occupancy for the building from 125 persons to 205 persons (grades 9-12 = 125; grades 6-8 = 50; staff = 30) with a building addition. The subject property is located at 3724 Bemidji Ave N (PINS 800628000) in the City of Bemidji.

Conclusions based on the Ordinance and Comprehensive Plan were presented in the packet including conditions and findings of fact.

Commission members made the following comments:

- No comments.

**Public Hearing for Variance and Interim Use Permit Requests**

Pursuant to published notice, a public hearing was held regarding input on the request. Chair Heinonen opened the Public Hearing at **5:38 PM**, hearing the following comments:

- Michael Johnston, ICON architects representing the applicant, addressed the Commission.
- Les Sanders, neighbor of the subject property, expressed concern for noise level, the fire pit, individuals entering his yard, and the effect on his property value. Sanders inquired about a process to appeal the request.

# DRAFT

- Gary Smith, 3703 Birchmont Dr NE, expressed concern that the present yard for the school is not adequate for the school's current needs. Smith expressed concern that the yard size does not seem big enough and his fence has sustained damage, expressed concern for students entering his property either around or over his fence and noted concern for liability. Smith expressed concern that the school is still on private septic for the number of people onsite and expressed concern that the approval will affect the use of his property. Smith suggested that the school secure their area and improve their septic system.
- Ryan Haasch, executive director of Voyageurs Expeditionary School, addressed the commission and noted that he is unaware of any issues with the neighboring properties. Haasch identified their plan is to add 50 students over time. Haasch addressed that they have added cameras to increase surveillance in the back and expressed a willingness to secure the property with a fence if needed. Haasch addressed plans to increase their work-based learning program and career college pathways.
- Peterson inquired if Voyageurs is looking at other locations to expand. Haasch addressed that they are part of the Safe Routes School Grant along with the neighboring school Aurora Waasakone Community of Learners.
- Lemmer inquired as to how the backyard is being used. Haasch addressed that time outside is supervised, and classes are sometimes held outside.
- Jeff Cwikla, owner of the building, addressed a willingness to work something out with the neighbor if the fence or barrier needs to be updated. Cwikla addressed that city sewer is not available at the site and noted a letter from Jay Seitz expressing that the septic can handle additional people.

Hearing no further comments Chair Heinonen closed the Public Hearing at **5:56 PM**.

Further comments:

- Peterson inquired when city services will be available. Carlson addressed in conjunction with the county road project potentially in 2029 or 2030.
- Members and staff discussed setbacks and stormwater.

## Variance:

Motion by **Meehlhause**, seconded by **Lemmer**, to recommend approval of the variance request for parcel 800628000, with the conditions and findings of fact as presented in the packet. Motion carried by the following roll call vote: Ayes: **Peterson, Meehlhause, McCoy, Lemmer, Heinonen**. Nays: **None**.

Further comments:

- Members discussed the yard and a fence.
- Peterson suggested adding a condition to require a fence.
- Meehlhause inquired of the proposed timeframe for adding additional students.

Chair Heinonen reopened the Public Hearing at **6:06 PM**, hearing the following comments:

- Haasch addressed that the number of students would be increased incrementally over the next 2 to 3 years.
- Peterson inquired if applicant would be willing to install 8-foot fence. Haasch addressed that they are willing.

Hearing no further comments, Chair Heinonen closed the public hearing at **6:07 PM**.

## Interim Use Permit:

Motion by **Meehlhause**, seconded by **Peterson**, to recommend approval of the interim use permit request for parcel 800628000, with the conditions and findings of fact as presented in the packet and an additional condition #12 to require an 8-foot fence along the east side of the property.

# DRAFT

Motion carried by the following roll call vote: Ayes: **Peterson, Meehlhause, McCoy, Lemmer, Heinonen**. Nays: **None**.

Chair Heinonen addressed that these requests would go before the Planning Board at their next meeting on **August 11, 2025**, at 5:30 PM for the final decision.

## PUBLIC HEARING: PRELIMINARY PLANNED UNIT DEVELOPMENT REQUEST – MARCO MCLANE DEVELOPMENT REPRESENTING GREATER BEMIDJI

Carlson presented the planning case request: Marco McLane Development representing Greater Bemidji is requesting a Preliminary Planned Unit Development (PUD)/PLAT to develop a multi-phase project which would include a YMCA Community Wellness Center and other future developments. The subject property is located at 101 Minnesota Ave NW (PIN #80.00344.99) in the City of Bemidji (also known as the rail corridor).

Conclusions based on the Ordinance and Comprehensive Plan were presented in the packet including conditions and findings of fact.

Commission members made the following comments:

- Heinonen expressed concern for the trail plan and making sure the parkland is sufficient if high density housing is part of the project.
- Lemmer addressed support from Veteran's Memorial and Historical Society for park and expressed concern for the density of the development and concern for construction limiting traffic to those two locations.

### Public Hearing

Pursuant to published notice, a public hearing was held regarding input on the request. Chair Heinonen opened the Public Hearing at **6:16 PM**, hearing the following comments:

- Tim Marco, Marco McLane Development, addressed that the trail will still have a 90 degree turn. Marco noted their request that the private utility coordination would not be tied to the final PUD approval. Marco addressed that the building pad may change if utilities are unable to be moved, however the current proposal shows the maximum building size. Marco addressed that the greenspace or parkland is going to be privately programmed and privately owned and noted their request that this not be a part of the final PUD approval. Marco addressed that there is no timeline yet for when the final PUD will come before the commission and board.

Hearing no further comments Chair Heinonen closed the Public Hearing at **6:25 PM**.

Additional comments:

- Carlson addressed that the ordinance allows for privately owned parks. Carlson addressed remediation could potentially start next month.

Motion by **Meehlhause**, seconded by **Lemmer**, to recommend approval of the preliminary planned unit development request for parcel 800034499, with the conditions and findings of fact as presented in the packet. Motion carried by the following roll call vote: Ayes: **Peterson, Meehlhause, McCoy, Lemmer, Heinonen**. Nays: **None**.

Chair Heinonen addressed that the request would go before the Planning Board at their next meeting on **August 11, 2025**, at 5:30 PM for the final decision.

Chair Heinonen turned the gavel over to Vice Chair Meehlhause due to a conflict of interest with the next planning case.

## PUBLIC HEARING: VARIANCE REQUEST – CARL JOHNSON REPRESENTING 4<sup>TH</sup> STREET LODGE

# DRAFT

Wielenberg presented the planning case request: Carl Johnson representing 4<sup>th</sup> Street Lodge, LLC is requesting three variances from the sign standards to increase the signage allowed on the property. These variances will allow for the following:

1. Increase the maximum wall sign square footage allowed for the parcel from 200 square feet to 535 square feet.
2. Increase the number of projecting or under canopy signs per parcel per street frontage from one (1) to three (3) for the 4<sup>th</sup> St NW frontage.
3. Increase the number of projecting or under canopy signs per building facade from one (1) to three (3) for the 4<sup>th</sup> St NW façade.

The subject property is located at 116 4<sup>th</sup> St NW (PIN #800103600) in the City of Bemidji. Conclusions based on the Ordinance and Comprehensive Plan were presented in the packet including conditions and findings of fact.

Commission members made the following comments:

- No comments.

## Public Hearing

Pursuant to published notice, a public hearing was held regarding input on the request. Chair Heinonen opened the Public Hearing at **6:33 PM**, hearing the following comments:

- Carl Johnson, representing 4<sup>th</sup> St Lodge LLC, addressed the commission.

Hearing no further comments Chair Heinonen closed the Public Hearing at **6:34 PM**.

Additional comments:

- Carlson addressed the uniquely large size of the building in comparison to other building sizes in the downtown area.

Motion by **Peterson**, seconded by **Lemmer**, to recommend approval of the variance request for parcel 800103600, with the conditions and findings of fact as presented in the packet. Motion carried by the following roll call vote: Ayes: **Peterson, Meehlhause, McCoy, Lemmer**. Nays: **None**. Abstentions: **Heinonen**

Vice Chair Meehlhause addressed that the request would go before the Planning Board at their next meeting on **August 11, 2025**, at 5:30 PM for the final decision.

Vice Chair Meehlhause passed the gavel back to Chair Heinonen.

## PUBLIC HEARING: VARIANCE REQUEST – JOHN HAMRIN

Carlson presented the planning case request: John Hamrin is requesting a Variance from the OHWL requirements to build an attached lakeside deck on an existing lot of record. The subject property is located at 1725 S Lake Irving Dr SW (PIN #80.01671.00) in the City of Bemidji. The requested variance is as follows:

1. A reduction of 9 feet from the OHWL setback per Section 28-352 requirement of 50 feet from the ordinary high-water mark and at the building line.

Conclusions based on the Ordinance and Comprehensive Plan were presented in the packet including conditions and findings of fact.

Commission members made the following comments:

- No comments.

## Public Hearing

Pursuant to published notice, a public hearing was held regarding input on the request. Chair Heinonen opened the Public Hearing at **6:39 PM**, hearing the following comments:

- John Hamrin, applicant, addressed the commission.

Hearing no further comments Chair Heinonen closed the Public Hearing at **6:40 PM**.

# DRAFT

Motion by **Peterson**, seconded by **Meehlhause**, to recommend approval of the variance request for parcel 800167100, with the conditions and findings of fact as presented in the packet. Motion carried by the following roll call vote: Ayes: **Peterson, Meehlhause, McCoy, Lemmer, Heinonen**. Nays: **None**.

Chair Heinonen addressed that the request would go before the Planning Board at their next meeting on **August 11, 2025**, at 5:30 PM for the final decision.

## **UPCOMING COMMISSION MEETINGS**

- Thursday, August 28, 2025                      5:30 p.m.                      Planning Commission Meeting

## **ADJOURN**

There being no further business, motion by **Meehlhause**, seconded by **Lemmer**, to adjourn the meeting. Motion carried. Meeting adjourned at **6:43 p.m.**

Respectfully submitted,

Ainslee Krause  
Planning & Building Administrative Assistant

PC Minutes approved and attested by: \_\_\_\_\_  
Planning Commission Representative

# The City of Bemidji Planning Board

<b>PLANNING CASE:</b> ZOA-2025-0003	<b>COMMISSION MEETING DATE:</b> September 18, 2025
<b>APPLICANT:</b> S&D Glass Inc. by Jane Marks-Hastig	<b>60-DAY RULE DATE:</b> October 27, 2025
<b>PROCEEDING:</b> Rezone from (R-5) High Density Residential to (B-2) General Commercial	<b>ZONING DISTRICTS:</b> (R-5) High Density Residential
<b>PREPARED BY:</b> Melissa Fahrenbruch Assistant Planner	<b>EXHIBITS:</b> Zoning Map, Future Land Use Map, Aerial Map, Application, Site Plan, Supporting Documentation

## PLANNING REPORT

**I. SUMMARY OF REQUEST**

City of Bemidji – ZOA-2025-0003: - Jane Marks-Hastig representing S&D Glass Inc. is requesting a (Rezone) Land Use Map Amendment from R-5 High Density Residential Zoning District to B-2 General Commercial Zoning District with plans to construct a portion of their parking lot that would serve a building on the adjacent parcel for a service and retail business. The subject property is located at TBD 24th St NW (PIN 800331600) in the City of Bemidji.

**II. BACKGROUND**

City staff spoke with the designers and owners on developing their two (2) lots for the use of their business which is needing to be relocated. The owners have owned these two (2) parcels for years with the idea of constructing their own building. The Applicant has been working with city staff on a site plan review and will apply for a parcel (lot) combination, if the rezoning of the smaller parcel is approved. A development agreement will be entered into between the applicant and the city.

**III. DISCUSSION/DEVELOPMENT ANALYSIS**

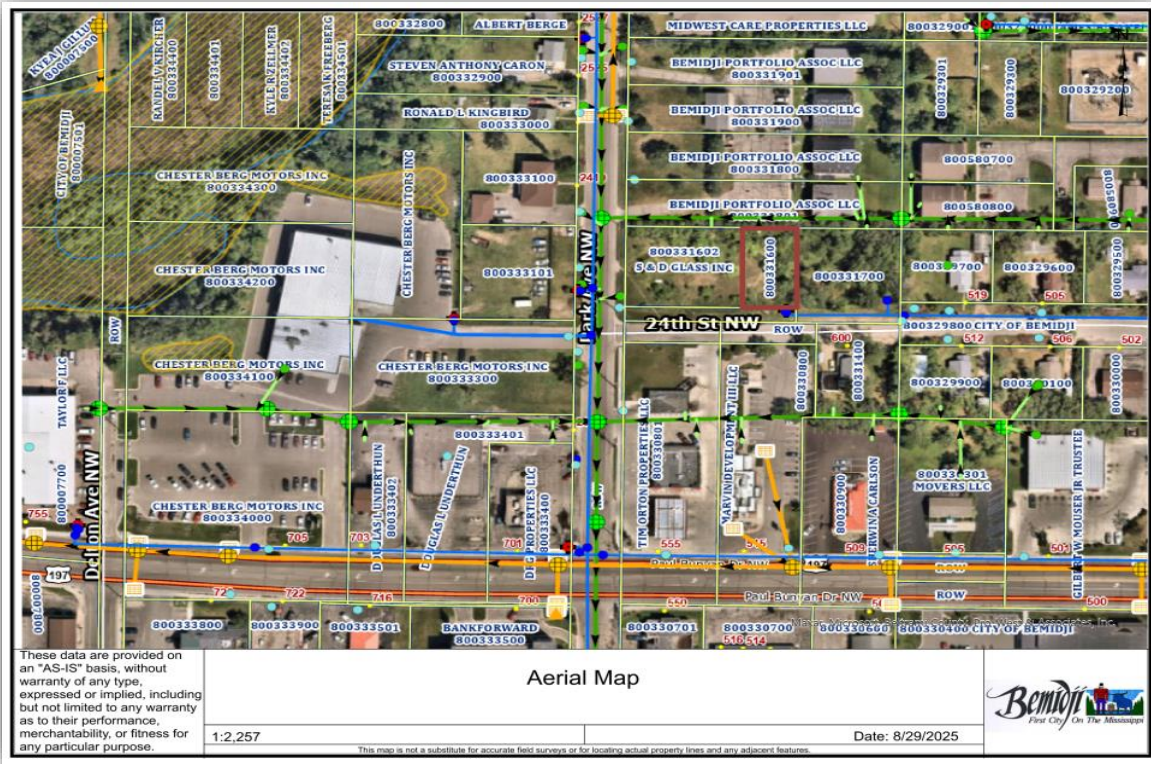
**Planning Considerations**

When reviewing zoning requests, it is imperative to ensure that “spot zones” are not created. Spot zoning allows for a particular parcel of land to have land uses differing from land uses allowed in adjacent and small regional areas and is likely a deviation from the land use plan. This rezone would be a continuation of the commercial zoning from the west and south and would cap the commercial on that corner. High Density Residential zoning abuts these parcels to the north and east which creates a buffer to other abutting residential zoning districts.

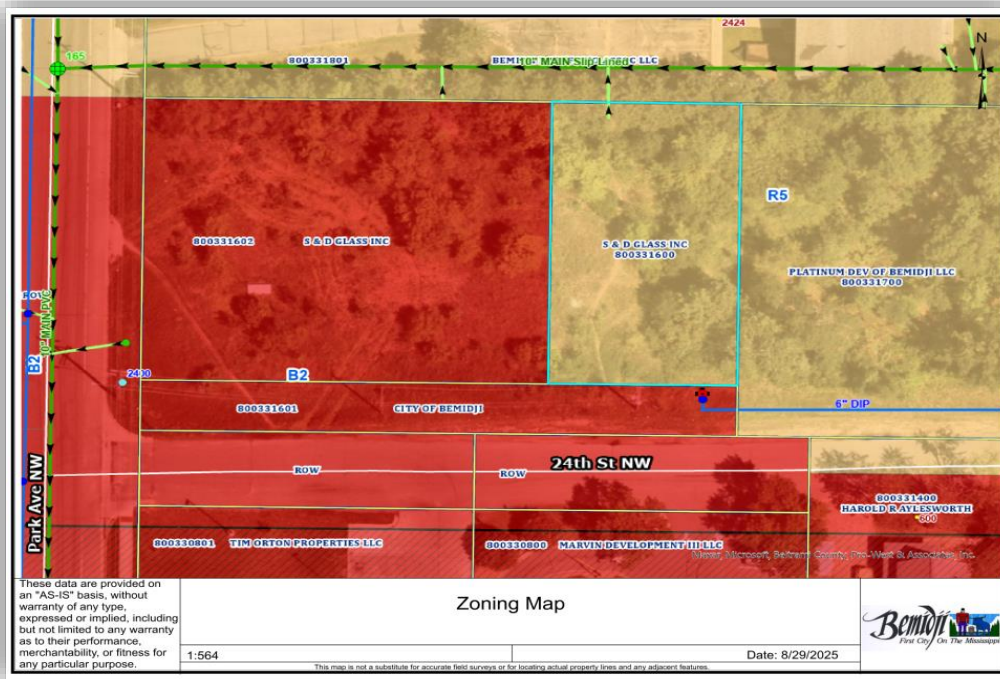
**Existing Conditions**

The subject property has been vacant and undeveloped partially wooded area. This parcel abuts B-2 General Commercial to the south and west with businesses Chester Berg Toyota, Taco Bell, and Orton’s gas station, along with R-5 High Density Residential to the north and

east. The property has access off city streets, 24<sup>th</sup> Street NW to the south (will be addressed off) and Park Ave NW to the west.

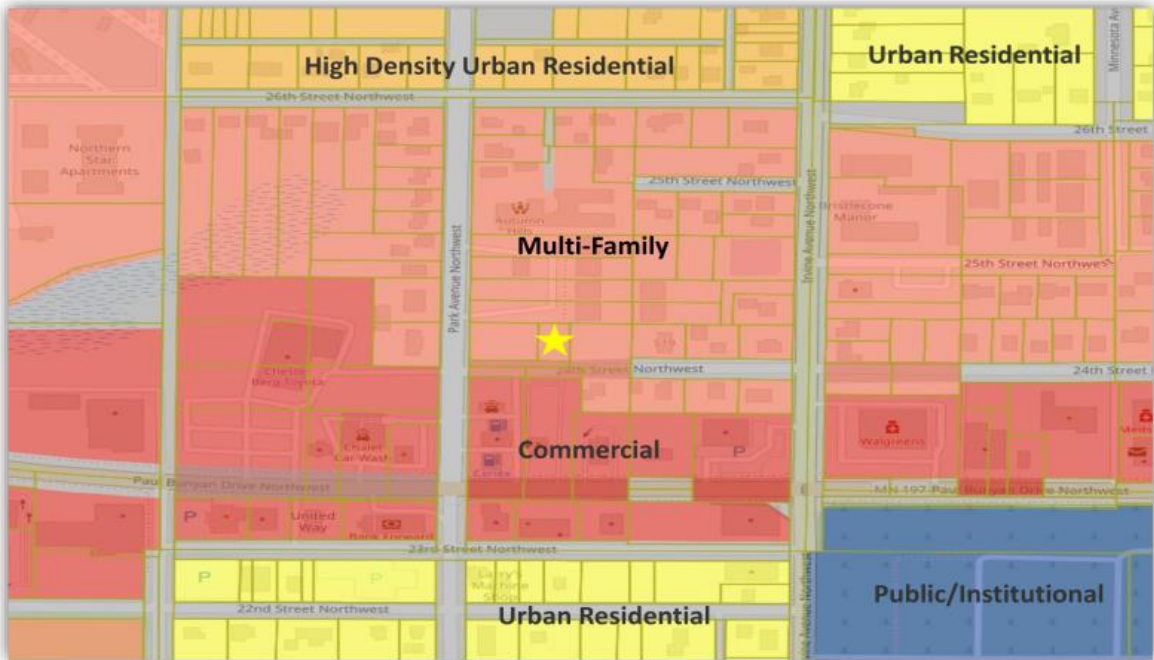


The current City of Bemidji zoning map:



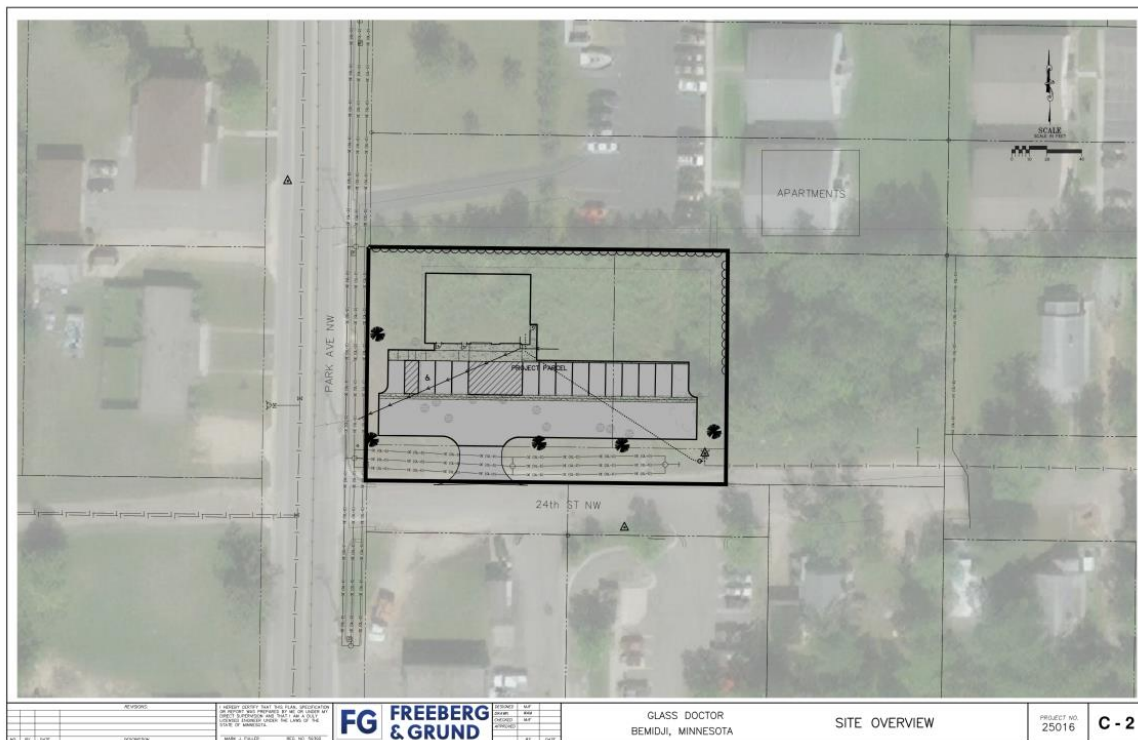
**City's Future Land-Use Map**

The future land-use map shows that this area as transitional residential.



City of Bemidji, Area Future Land Use Plan

If the subject lot was rezoned to B-2, this parcel would border the other commercial zone to the west and south allowing the owner to combine the two parcels for their building project.



### **Development Team Comments**

Development plans have been reviewed for compliance with City of Bemidji regulations.

### **Sam Anderson, City of Bemidji City Engineer, and Public Works Director, Comments:**

Hey Melissa,

Seems appropriate to me.

Thank you,

**Sam Anderson, P.E.** | City Engineer/Director of Public Works | City of Bemidji  
218-333-1851 | [sam.anderson@ci.bemidji.mn.us](mailto:sam.anderson@ci.bemidji.mn.us)

### **Neighborhood Comments**

No neighbor comments were received at the time of writing this report.

### **Comprehensive Plan References**

#### ***Land Use Objectives and Strategies***

#### ***Objective 4.2: Preserve and Promote Commercial and Industrial Redevelopment or In-Fill Development Where Appropriate***

*Providing opportunity for commercial and industrial redevelopment is imperative to reduce urban sprawl and increase land use densities where appropriate. Land use planning can preserve existing developed areas and ensure land is available as well as compatible for increased development.*

- 2. Identify areas where commercial and industrial uses should be located, specifically adjacent to highways with controlled access where noise, odor, dust, and glare will have minimal impact.*** *When reviewing new commercial and industrial land uses, ensuring these areas are appropriate and compatible with opportunity to be successful. Piecemeal development of industrial and commercial land uses can increase urban sprawl and have negative impacts on existing, less intense surrounding land uses.*

#### ***Objective 6.2: Promote and Maintain the Status of an Economic Regional Center***

*The City of Bemidji has become an economic regional center for northern Minnesota. The community will continue to provide the amenities for shopping, recreation, and entertainment that keep jobs and people coming to the area.*

- 1. Promote the expansion of diverse industries in the region.*** *The City of Bemidji will allow for a variety of land use types for commercial and industrial uses, ensuring a diverse and stable economy.*

### **Zoning Ordinance References**

Section 28-122 – Lot Size and Bulk Regulations by Zoning Districts

Section 28-526 - Amendments; Text or Zoning District

## **IV. RECOMMENDATION & FINDINGS**

The planning commission must decide if a (Rezoned) Land Use Map Amendment from R-5 High Density Residential Zoning District to B-2 General Commercial Zoning District for parcel 800331600 meets the ordinance and comprehensive plan. The following are the proposed findings of fact:

## **Findings of Fact - Rezone**

**1. Whether the change in classification would be consistent with the intent and purpose of this Ordinance.**

The proposed change would be consistent with intent and purpose of the Ordinance. The proposed project abuts commercial properties across the street to the south and abuts the applicants other parcel to the west. The change in classification would be consistent with commercial infill within the city.

**2. Whether every use that would be permitted on the property if it were reclassified would be compatible with the uses permitted on other property in the immediate vicinity.**

The (B-2) General Commercial Zoning District would continue the Commercial zoning district from the south and west along with connecting to other higher densities to the north and east. The use that would be permitted if it were reclassified would be compatible with the neighboring properties.

**3. Whether adequate sewer and water facilities, and all other needed public services, exist or can be provided to serve the uses that would be permitted on the property if it were reclassified.**

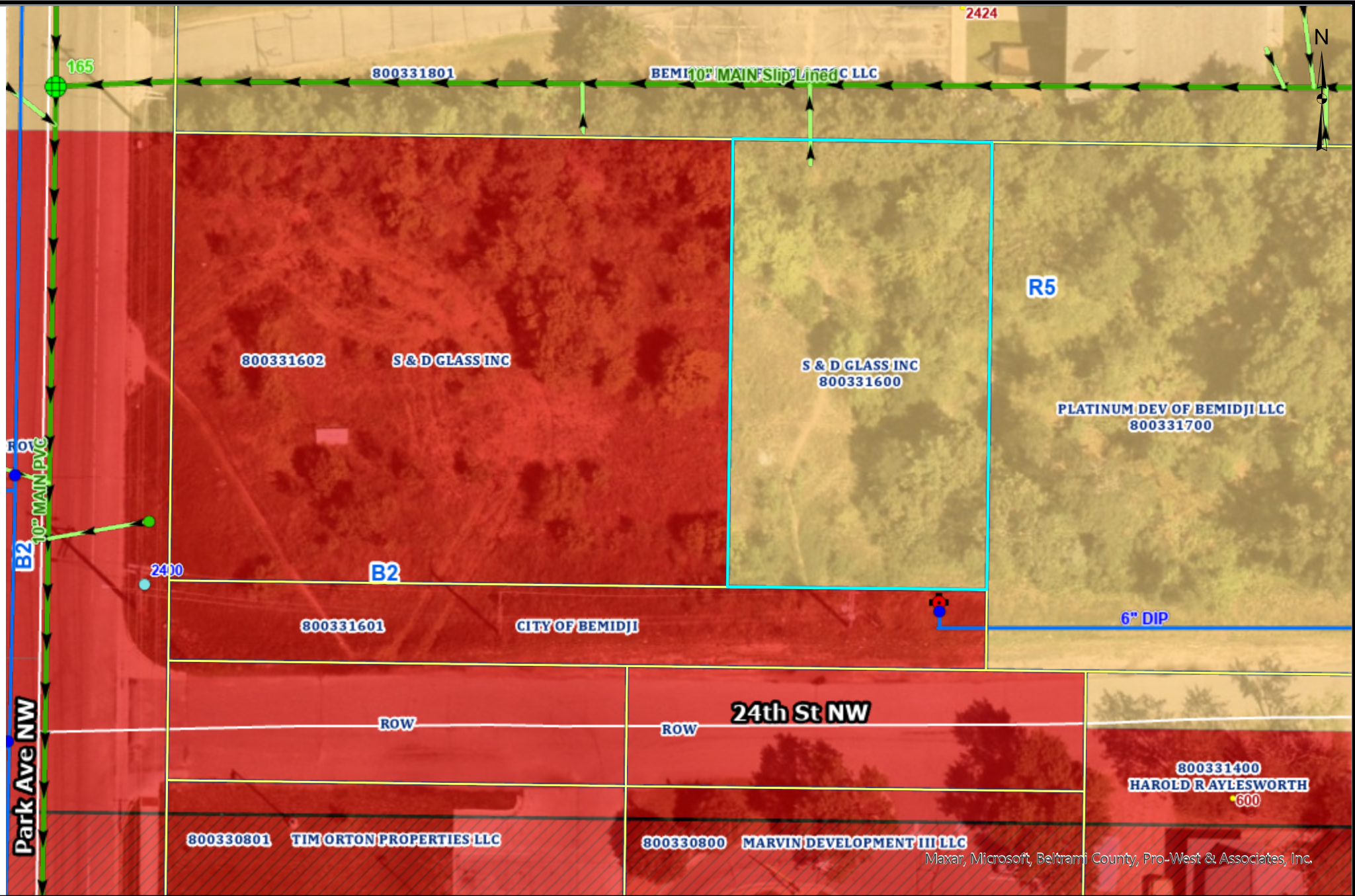
This parcel would be connected to City services.

**4. Whether the proposed amendment would correct an error in the application of this Ordinance.**

This is not a correction. This rezone request would allow the applicant to combine and develop the parcel for the applicant's business adding parking and an option for future expansion, if needed. The future land use map was not updated before adoption into the city ordinance.

**5. Whether the proposed amendment is made necessary because of changed or changing conditions in the area affected, and, if so, the nature of such changed or changing conditions.**

This proposed amendment is made necessary due to the termination of lease in the applicant's current business location.



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

## Zoning Map

1:564 Date: 8/29/2025

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.



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APPLICATION

**ZOA-2025-0003**

**REZONING/ZONING ORDINANCE  
AMENDMENT**

**SITE ADDRESS:** UNKNOWN UNKNOWN  
**PRIMARY PARCEL:** 800331600  
**PROJECT NAME:** GLASS DOCTOR NEW BUILDING

**ISSUED:**  
**EXPIRES:**

**APPLICANT:** S&D Glass  
750 Paul Bunyan Dr NW suite 9  
Bemidji, MN 56601  
2187591289

**OWNER:** S & D GLASS INC  
750 PAUL BUNYAN DR NW  
BEMIDJI, MN 56601

Detail Name	Detail Value
Select the type of amendment request from the list	Zoning District Change
Zoning District Change: Please indicate the current district and indicate the district you are requesting a change to.(If this does not apply, enter N/A)	Currently residential, requesting commercial
Zoning Text Change: Please describe the proposed text amendment.(If this does not apply, enter N/A)	NA
Zoning District Change: Describe the proposed use of your property after the amendment.	We wish to build a new commercial building for our business
Zoning District Change: Describe the existing use of your property.	the currently is currently an empty lot
Zoning District Change: Describe what changes you feel have led to the request being sought.	We have 2 parcels, one is commercial and one residential. We wish to combine them in order to build our commercial building
Zoning District Change: How will the change affect the use of the property?	We wish to build and operate our glass buisness from this property
Describe how the change will benefit the surrounding area and the City of Bemidji over time.	This will provide increased tax revenue to the city. This building will be an improvement to the current empty lot. Our business will bring more customers to the area to frequent other local businesses. We will employ local community members
Zoning District Change: What are the zoning districts of the properties (adjacent/included) by this request?	commercial
Zoning District Change: Are there any easements that may be impacted by this zoning change?	No
Zoning District Change: Do adequate sewer and water facilities exist or can they be provided for the proposed changes that may occur should this amendment be approved?	Yes



Zoning Text Change: If the proposed amendment will correct an error in the application of the Zoning Ordinance, describe that error (or "N/A") NA

Zoning Text Change: Are there any other considerations, not addressed above, that would help the City of Bemidji Planning & Zoning Board determine whether the amendment should be made? Please describe (or "N/A") NA

I hereby certify that I am the owner or authorized agent of the owner of the above described property and that all uses will conform to the provisions of the City of Bemidji Development Code. I further certify that I will comply with all conditions placed upon this permit should this application be approved. Intentional or unintentional falsification of this application or any attachments thereto will serve to make this application and any resultant permit invalid. I Certify

I also authorize the City of Bemidji Planning staff to inspect the property during review of this application and subsequent construction during reasonable times of the day. I Authorize

Enter Escrow Payer's Name and Mailing Address (where escrow funds are to be returned when the project is completed) S&D Glass Inc., 750 PAul Bunyan Dr NW BEmidji MN 56601

**CONDITIONS**

\* An escrow account is established to cover technical and legal expenses incurred by the City of Bemidji as part of the plan review. The applicant is responsible for all costs incurred by the City during plan review. If the escrow amount drops below 10% of the original deposit amount the City may require submittal of an additional escrow deposit sufficient to cover any anticipated expenses. Upon determination by the City that the project is complete or expired, the City will return the remaining escrow deposit to the applicant.

<b>FEES:</b>	<b><u>Paid</u></b>	<b><u>Due</u></b>
Zoning Map/Text Amendment Fee	\$600.00	\$0.00
Planning Escrow Deposit	\$500.00	\$0.00
<b>Totals :</b>	<b>\$1,100.00</b>	<b>\$0.00</b>

August 26, 2025

To: City of Bemidji Planning and Zoning Department

Re: Lot 15 Block 1, Wagner's Third Add. To Bemidji, less the East 125 feet thereof, and less the South 20 feet thereof.

Parcel for rezoning consideration: 800331600

I am writing to request rezoning parcel 800331600 from residential to commercial. The adjoining parcel 800331602 is already zoned as commercial and we have been paying commercial taxes on both parcels since we purchased the property, with the anticipation of combining the parcels for commercial use. We, S&D Glass inc., plan to construct a new building on this property to serve as our base of operations for Glass Doctor Bemidji, our glass services and retail company. The current building we lease has been sold and will no longer be available to us soon. We wish to stay within the city limits and as close to our original location as possible. It has always been our intention to build on this property to expand our operations.

At present, the property comprises two parcels: one zoned commercial and the other residential. The intention is to construct a new building on this lot, maintaining operations within the City of Bemidji. Both parcels need to be zoned for commercial use to accommodate the building, provide adequate parking, and ensure sufficient green space. Once the residential parcel is rezoned for commercial use, the parcels will be combined to support the project. An application for a building permit has already been submitted, with hopes of commencing construction soon. We will provide more tax revenue for the city from this location as well.

We have built a trusted reputation in the community over the past 40 years. We feel we provide vital services and wish to continue to serve the community from within Bemidji. We provide auto glass repair and replacement services as well as residential glass retail and services. We work with many local business through the course of our work. Building on this property will allow us to continue to operate in Bemidji, employ local community members, collaborate with and support other local businesses and support local charities and youth programs.

We feel our new building will make an attractive addition to the area. We take pride in the appearance of our property and will be respectful to our residential neighbors as far as parking, noise and hours of operation. Our daily operations, Monday – Friday 8:00AM to 5:00PM should not detract from the neighborhood in any way.

Our business tends to bring customers to other business in the area. Our customers utilize shopping opportunities, restaurants, gas stations, car washes and coffee shops They also run errands like shipping, banking, insurance services, picking up prescriptions, as a few examples. This location will offer many conveniences for customers. Many of our customers come from our surrounding communities as well and tend to spend money in our community while they are in town for their appointments with us.

We greatly appreciate your consideration of our rezoning request. We look forward to working with the City of Bemidji as the project moves forward.

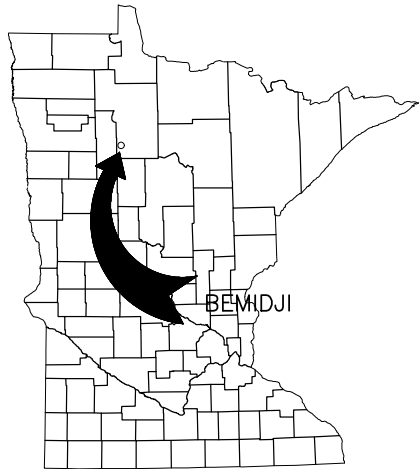
Jane Marks-Hastig

Co-owner S&D Glass Inc., dba Glass Doctor Bemidji

# GLASS DOCTOR

PID's: 80.03316.02  
80.03316.00

CONSTRUCTION PLAN FOR GRADING, DRAINAGE, AGGREGATE BASE,  
CURB AND BITUMINOUS SURFACING



MINNESOTA

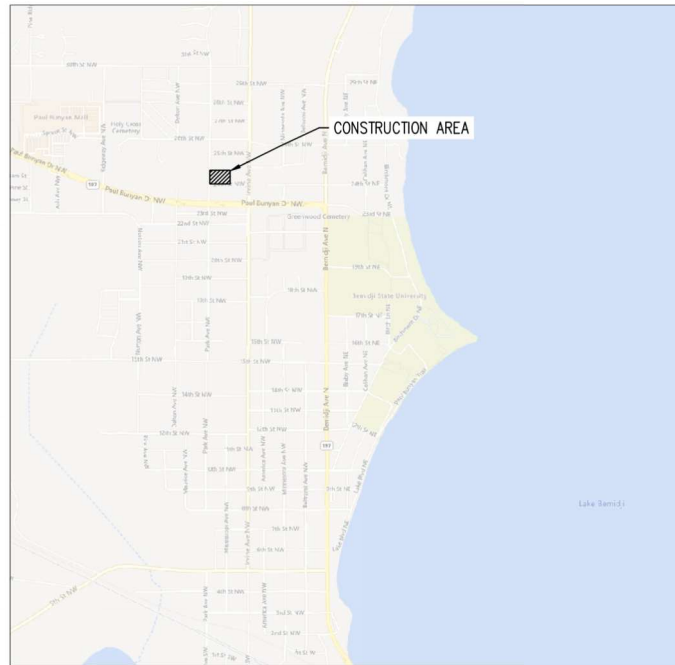
NOT TO SCALE

**SURVEY DATUM**

HORZ.  
BELTRAMI COUNTY (SOUTH)  
COORDINATE SYSTEM NAD 83 (2011) ADJ.  
NAD 83

**INDEX TO SHEETS**

C-1	TITLE SHEET
C-2	SITE OVERVIEW
C-3	SITE DETAIL
C-4	GRADING
C-5	UTILITY
C-6	DETAILS
C-7	EROSION CONTROL/TREE PRESERVATION
C-8	EROSION CONTROL DETAILS



CITY OF BEMIDJI

NOT TO SCALE



**WARNING**  
LOCATION OF UNDERGROUND UTILITIES  
TO BE VERIFIED BY CONTRACTOR  
GOPHER STATE ONE CALL  
CALL BEFORE DIGGING,  
1-800-252-1166  
REQUIRED BY LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES  
ARE SHOWN IN AN APPROXIMATE WAY ONLY AND  
HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE  
OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR  
SHALL DETERMINE THE EXACT LOCATION OF ALL  
EXISTING UTILITIES BEFORE COMMENCING WORK, AND  
AGREES TO BE FULLY RESPONSIBLE FOR ANY AND  
ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE  
CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND  
PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THIS PLAN CONTAINS 8 SHEETS.

**LEGEND**

PROPOSED	EXISTING	DESCRIPTION
		PROPERTY LINES
		WATER MAIN, HYDRANT, GATE VALVE
		IRRIGATION PIPE
		WATER SERVICE WITH CURB STOP
		DRAIN TILE
		STORM DRAIN WITH MANHOLE, CATCH BASIN
		SANITARY SEWER WITH MANHOLE
		SANITARY SERVICE PIPE
		SANITARY SEWER FORCED MAIN
		UNDERGROUND TELEPHONE CONDUIT WITH MANHOLE
		UNDERGROUND FIBER OPTIC
		UNDERGROUND TELEPHONE CABLE WITH PEDESTAL
		UNDERGROUND T.V. CABLE WITH PEDESTAL
		UNDERGROUND ELECTRICAL WITH TRANSFORMER / METER
		UNDERGROUND GAS LINE WITH METER
		OVERHEAD TELEPHONE CABLE WITH UTILITY POLE
		OVERHEAD T.V. CABLE WITH UTILITY POLE
		OVERHEAD ELECTRICAL CABLE WITH UTILITY POLE
		CONCRETE SIDEWALK
		CURB & GUTTER
		FENCE
		BARBED WIRE
		CHAIN LINK
		STOCKADE
		TREE LINE
		TREES
		TREE REMOVAL
		MAIL BOX
		UTILITY POLE/GUY POLE
		LIGHT POLE
		SOIL BORING
		BENCH MARK/CONTROL POINT
		CUT-OFF FOR QUANTITY
		CULVERT WITH APRONS
		ELEVATION CONTOURS
		SPOT ELEVATION
		RETAINING WALL
		WATER LINE
		MARSH
<b>PROPERTY CORNERS</b>		
		IRON MONUMENT SET SET WITH CAP
		IRON MONUMENT FOUND FOUND WITH CAP
		NO MONUMENT FOUND
		ROCK DRIVEWAY
		GRAVEL/DIRT ROAD
		PAVER STONES
		BITUMINOUS/BIT. ROAD
		BITUMINOUS REMOVAL AREA
		BITUMINOUS RECLAIM AREA
		BITUMINOUS OVERLAY AREA
		OBLITERATE OLD ROAD
		CONCRETE REMOVAL AREA
		TREE REMOVAL AREA/ CLEARING & GRUBBING

NO.	BY	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION  
OR REPORT WAS PREPARED BY ME OR UNDER MY  
DIRECT SUPERVISION AND THAT I AM A FULLY  
LICENSED ENGINEER UNDER THE LAWS OF THE  
STATE OF MINNESOTA

MARK C. FULLER REG. NO. 59352



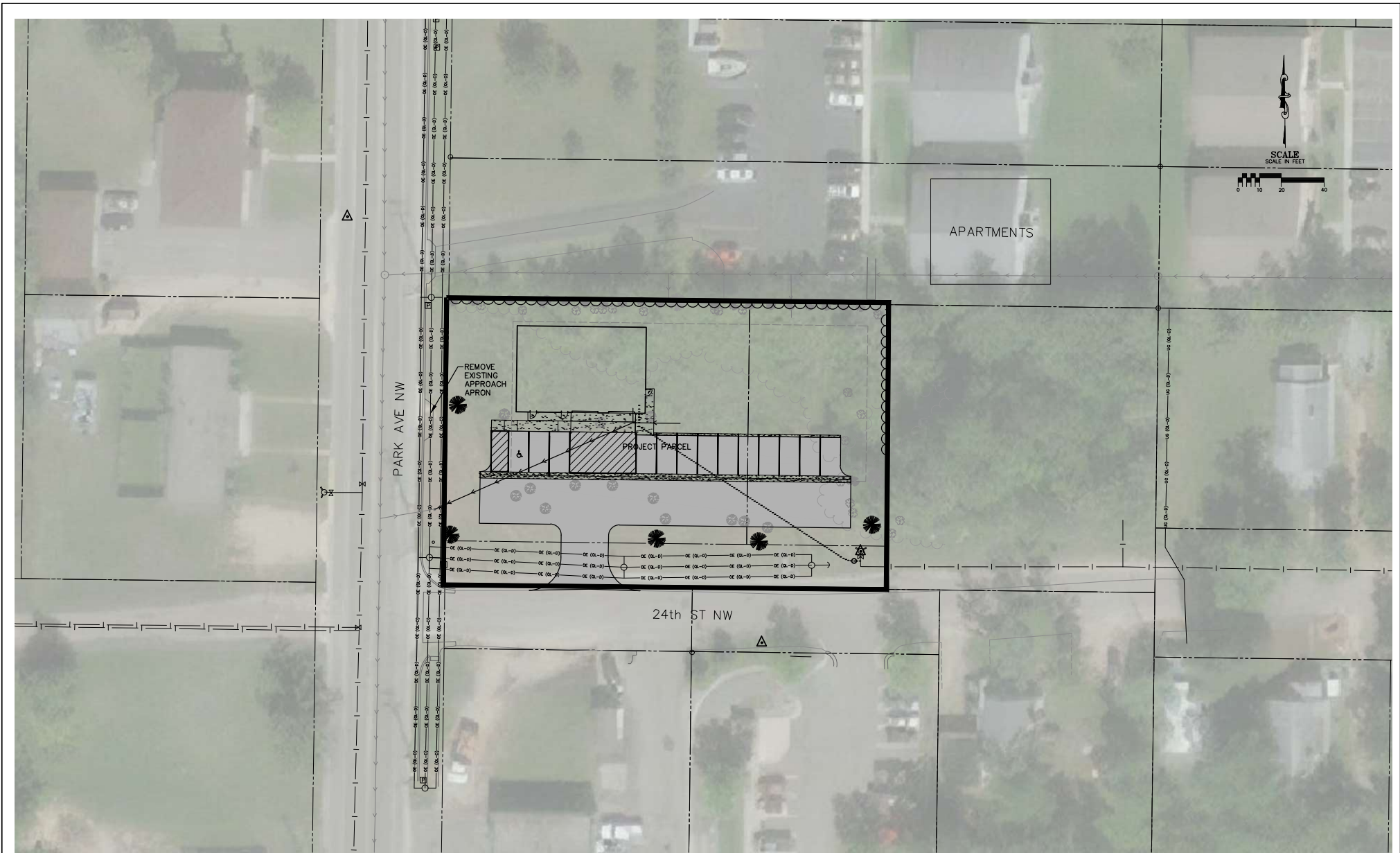
DESIGNED	M.F.	9/6/25
DRAWN	WAM	9/6/25
CHECKED	M.F.	9/6/25
APPROVED		
BY		
DATE		

CLASS DOCTOR  
BEMIDJI, MINNESOTA

TITLE

PROJECT NO.  
25016

C-1



REVISIONS:		
NO.	BY	DATE

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

MARK C. FULLER REG. NO. 59392



DESIGNED	MJF	9/8/25
DRAWN	WAM	9/8/25
CHECKED	MJF	9/8/25
APPROVED		
	BY	DATE

GLASS DOCTOR  
BEMIDJI, MINNESOTA

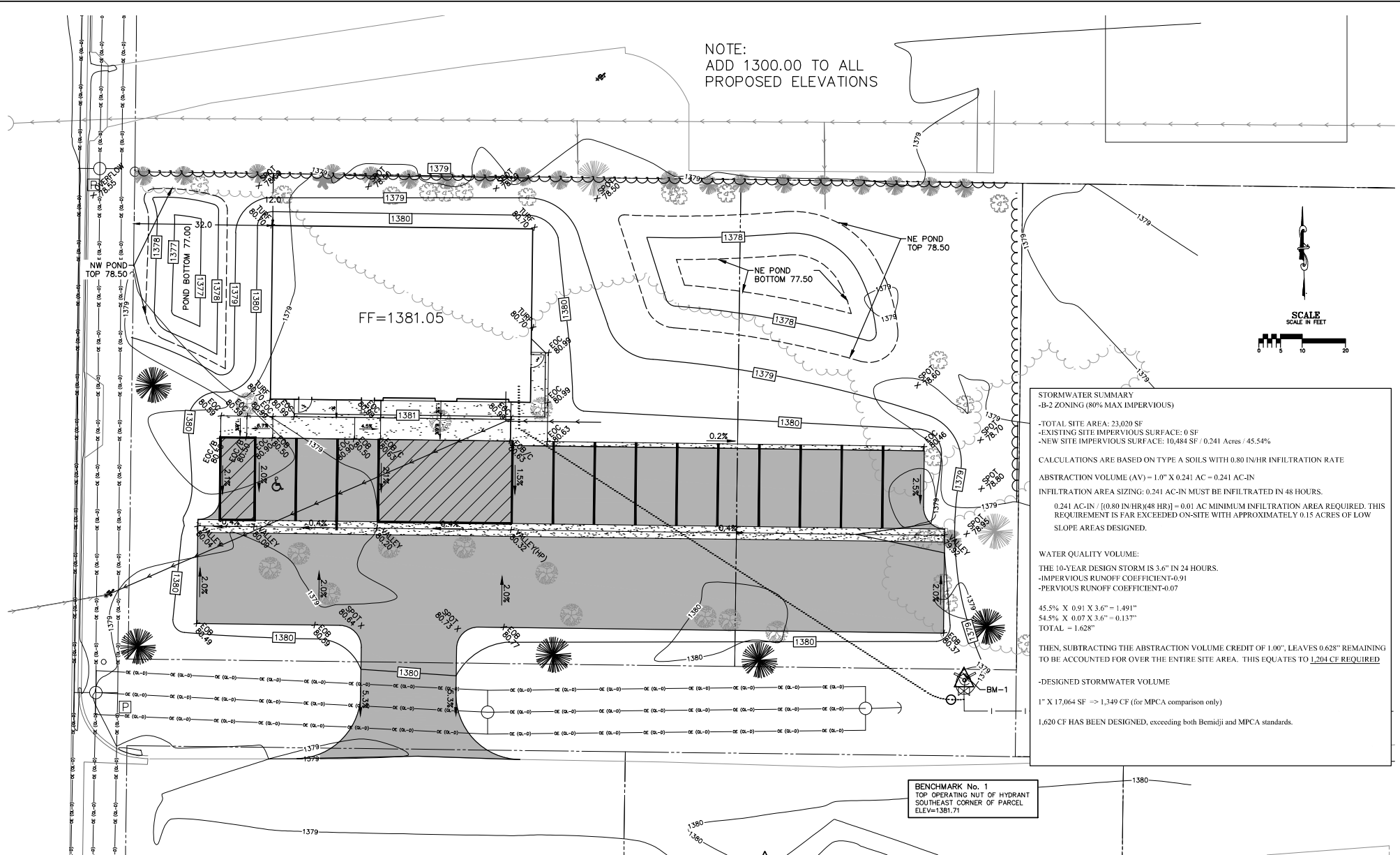
SITE OVERVIEW

PROJECT NO.  
25016

**C - 2**



NOTE:  
ADD 1300.00 TO ALL  
PROPOSED ELEVATIONS



**STORMWATER SUMMARY**  
 -B-2 ZONING (80% MAX IMPERVIOUS)

-TOTAL SITE AREA: 23,020 SF  
 -EXISTING SITE IMPERVIOUS SURFACE: 0 SF  
 -NEW SITE IMPERVIOUS SURFACE: 10,484 SF / 0.241 Acres / 45.54%

CALCULATIONS ARE BASED ON TYPE A SOILS WITH 0.80 IN/HR INFILTRATION RATE

ABSTRACTION VOLUME (AV) = 1.0" X 0.241 AC = 0.241 AC-IN

INFILTRATION AREA SIZING: 0.241 AC-IN MUST BE INFILTRATED IN 48 HOURS.

0.241 AC-IN / [(0.80 IN/HR)(48 HR)] = 0.01 AC MINIMUM INFILTRATION AREA REQUIRED. THIS REQUIREMENT IS FAR EXCEEDED ON-SITE WITH APPROXIMATELY 0.15 ACRES OF LOW SLOPE AREAS DESIGNED.

**WATER QUALITY VOLUME:**  
 THE 10-YEAR DESIGN STORM IS 3.6" IN 24 HOURS.

-IMPERVIOUS RUNOFF COEFFICIENT-0.91  
 -PERVIOUS RUNOFF COEFFICIENT-0.07

45.5% X 0.91 X 3.6" = 1.491"  
 54.5% X 0.07 X 3.6" = 0.137"  
 TOTAL = 1.628"

THEN, SUBTRACTING THE ABSTRACTION VOLUME CREDIT OF 1.00", LEAVES 0.628" REMAINING TO BE ACCOUNTED FOR OVER THE ENTIRE SITE AREA. THIS EQUATES TO 1,264 CF REQUIRED

-DESIGNED STORMWATER VOLUME  
 1" X 17,064 SF => 1,349 CF (for MPCA comparison only)

1,620 CF HAS BEEN DESIGNED, EXCEEDING BOTH BEMIDJI AND MPCA STANDARDS.

BENCHMARK No. 1  
TOP OPERATING NUT OF HYDRANT  
SOUTHEAST CORNER OF PARCEL  
ELEV=1381.71

NO.	BY	DATE	DESCRIPTION

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**FG FREEBERG & GRUND**

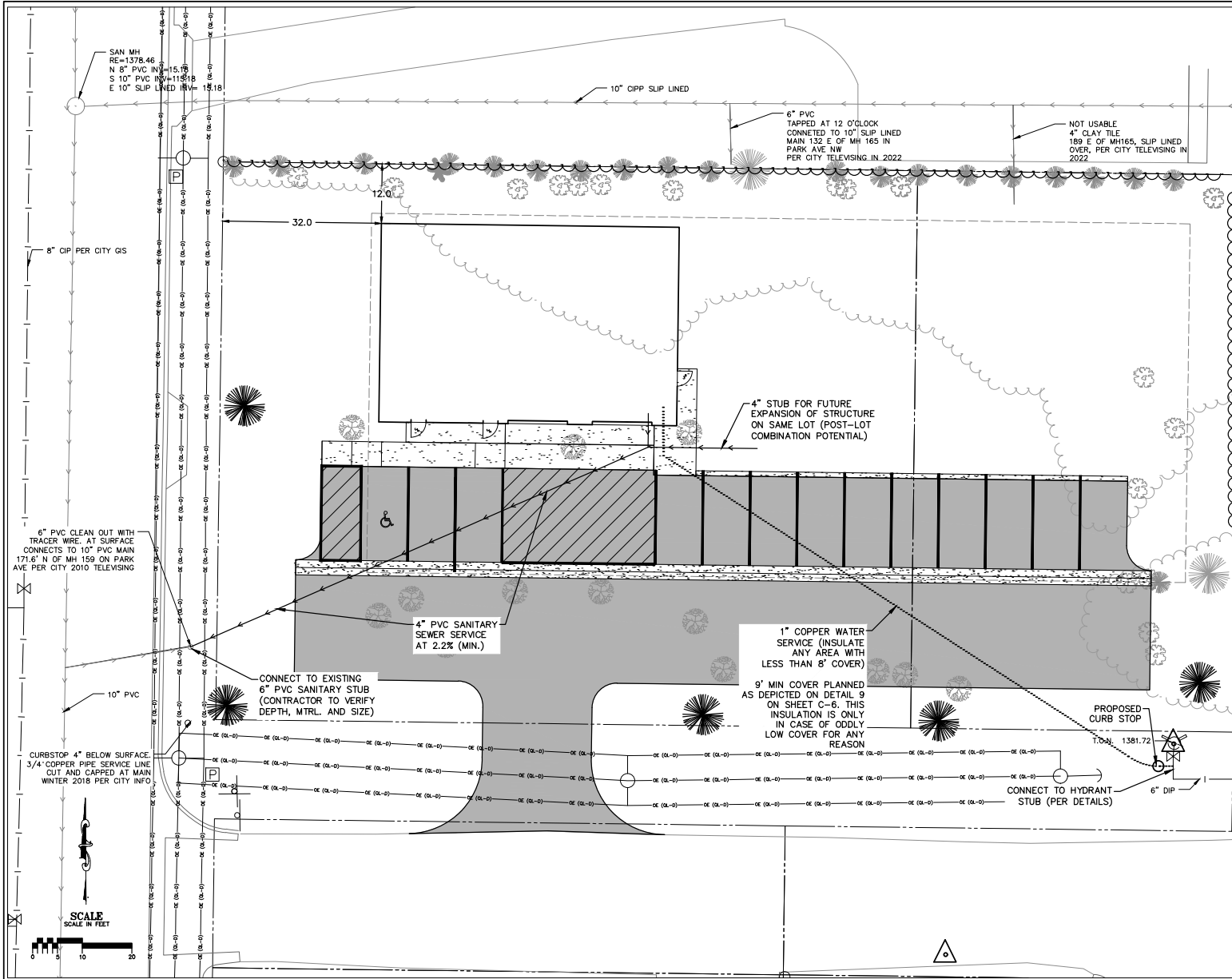
MARK FULLER REG. NO. 59392

DESIGNED	M.F.	9/8/25
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CHECKED	M.F.	9/8/25
APPROVED		
BY		

GLASS DOCTOR  
BEMIDJI, MINNESOTA

GRADING PLAN

PROJECT NO. 25016 **C - 4**



- PUBLIC UTILITY CONSTRUCTION NOTES**
- CONNECTIONS TO CITY WATER AND CITY SANITARY STORM MUST BE INSPECTED PRIOR TO BACKFILLING. CONTRACTOR SHALL CONTACT CITY AND CONSULTING ENGINEER AT LEAST 48 HOURS PRIOR TO MAKING CONNECTIONS. SHOULD CONTRACTOR ELECT TO DIRECTLY CONNECT TO THE WATER MAIN, CONTRACTOR SHALL SUBMIT, AND HAVE APPROVED BY THE CITY, A SHUTDOWN PLAN.
  - ALL UTILITY WORK, PUBLIC AND PRIVATE, SHALL CONFORM TO CEAM STANDARDS.
  - ALL WATER MAIN AND SERVICE SHALL BE MINIMUM 9' BURY DEPTH. CONTRACTOR SHALL NOTE THAT THIS WILL REQUIRE CURB STOP BOXES THAT ARE ADJUSTABLE FROM 8'6" THROUGH 9'6" AS OPPOSED TO 9' MAX. LENGTH.
  - ALL WATER MAIN SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MOST RECENT EDITION OF THE CEAM SPECIFICATIONS.
  - TRACER WIRE SHALL BE REQUIRED ON ALL PLASTIC SERVICES AND MAINS, PUBLIC OR PRIVATE.

- GENERAL CONSTRUCTION NOTES**
- THE STATE OF MINNESOTA, DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" 2020 EDITION ALONG WITH THE SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO ALL WORK WITHIN THE LIMITS OF THIS PROJECT.
  - ACCESS TO PRIVATE AND BUSINESS PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
  - ALL DISTURBED AREAS, NOT OTHERWISE SURFACED, SHALL BE SEEDED AND MULCHED.
  - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SILT, SOIL AND OTHER SUSPENDED PARTICLES FROM BEING DISCHARGED TO THE BODIES OF WATER OR DRAINAGE STRUCTURES IN THE CONSTRUCTION VICINITY. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL, UNLESS PAID FOR SPECIFICALLY IN THE PLANS.
  - ALL BACKFILL CONSTRUCTION FOR WATER, SANITARY AND STORM SHALL BE IN ACCORDANCE WITH MN/DOT 2451 AND COMPACTION SHALL BE IN ACCORDANCE WITH 2105.3 SECTION F.2, QUALITY COMPACTION METHO
  - EXISTING WATER & SEWER SERVICES SHALL BE MAINTAINED DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT GOPHER ONE CALL BEFORE COMMENCING EXCAVATION.

NO.	BY	DATE	DESCRIPTION

REVISIONS:

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**FG FREEBERG & GRUND**

MARK FULLER REG. NO. 59392

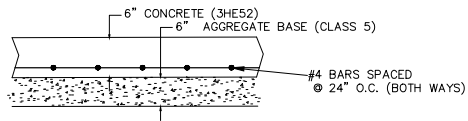
DESIGNED	MJF	9/8/25
DRAWN	WAM	9/8/25
CHECKED	MJF	9/8/25
APPROVED		
BY		

GLASS DOCTOR  
BEMIDJI, MINNESOTA

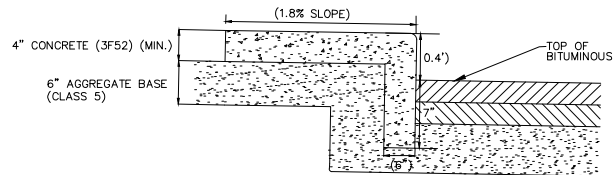
UTILITY PLAN

PROJECT NO. 25016

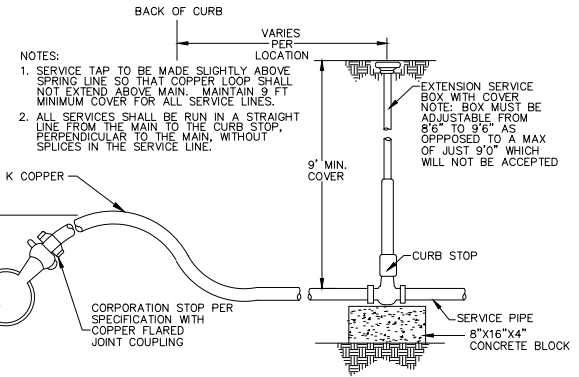
**C - 5**



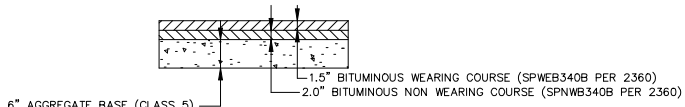
1 TYPICAL SECTION—CONCRETE APRONS  
C-6 NO SCALE



5 THICKENED EDGE SIDEWALK  
C-6 NO SCALE



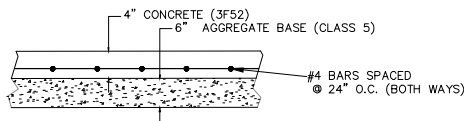
9 TYPICAL WATER SERVICE INSTALLATION  
C-6 NO SCALE



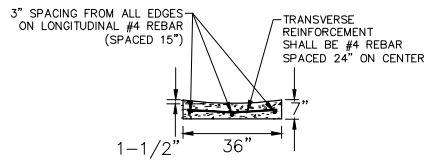
2 TYPICAL SECTION — BITUMINOUS AREA  
C-6 NO SCALE



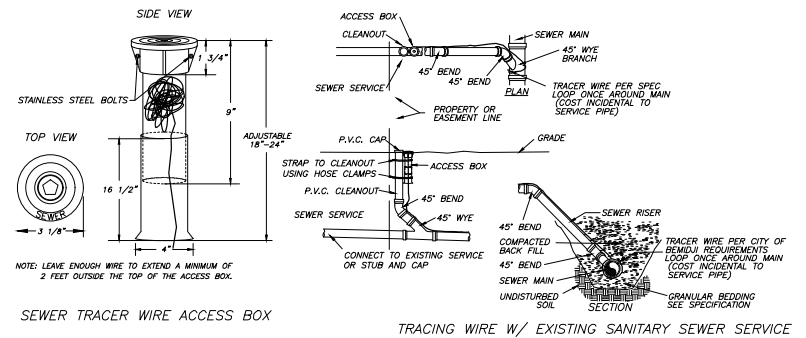
6 PARKING LINES  
C-6 (WHITE IN COLOR) NO SCALE



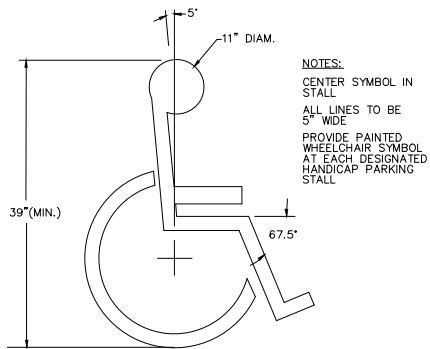
3 TYPICAL SECTION—CONCRETE SIDEWALKS AND STOOPS  
C-6 NO SCALE



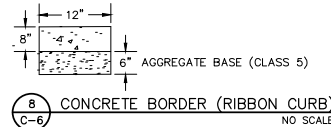
7 VALLEY GUTTER DETAIL (3A41)  
C-6 NO SCALE



10 SEWER TRACER WIRE DETAIL  
C-6 NO SCALE



4 HANDICAPPED SYMBOL  
C-6 (BLUE IN COLOR) NO SCALE



8 CONCRETE BORDER (RIBBON CURB)  
C-6 NO SCALE

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MARK FULLER REG. NO. 59392



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DRAWN	W.M.	9/8/25
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APPROVED		
BY		

GLASS DOCTOR  
BEMIDJI, MINNESOTA

DETAILS

PROJECT NO.  
25016

C - 6

**EROSION CONTROL DEVICES & SYMBOLS LEGEND**

- ① SILT FENCE-TYPE MACHINE SLICED \*\*
- ② HAZARDOUS MATERIAL WASHOUT AREA
- ③ STABILIZED CONSTRUCTION ENTRANCE

\* SEE DETAILS FOR EROSION CONTROL DEVICE INSTALLATION INSTRUCTIONS.  
 \*\* TYPE 4 TOPSOIL BERMS PER MNDOT 2573.302 SHALL BE ACCEPTABLE AS AN ALTERNATIVE TO MACHINE SLICED SILT FENCE

- H.Q.S. CONIFER (EXISTING)
- NON-H.Q.S. CONIFER (EXISTING)
- NON-H.Q.S. DECIDUOUS (EXISTING)
- NON-H.Q.S. SHRUB (EXISTING)

**TREE COUNT**

2 SIGNIFICANT TREES	38 NON-SIGNIFICANT TREES
RED PINE 9"	BASSWOOD 3-7"
RED PINE 9"	BUR OAK 1-5"
(BOTH TO BE PRESERVED)	ELM 3-7"
	RED OAK 1-4"
	RED PINE 5-7"
	WHITE PINE 6"

**TREE PRESERVATION:**  
 B2 Zoning < 1 ACRES = 1 tree every 800 SF of required pervious surface.

Minimum Pervious: 4,604 SF/800 => 6 trees base minimum.

2 existing High Quality Significant Trees All to be preserved.

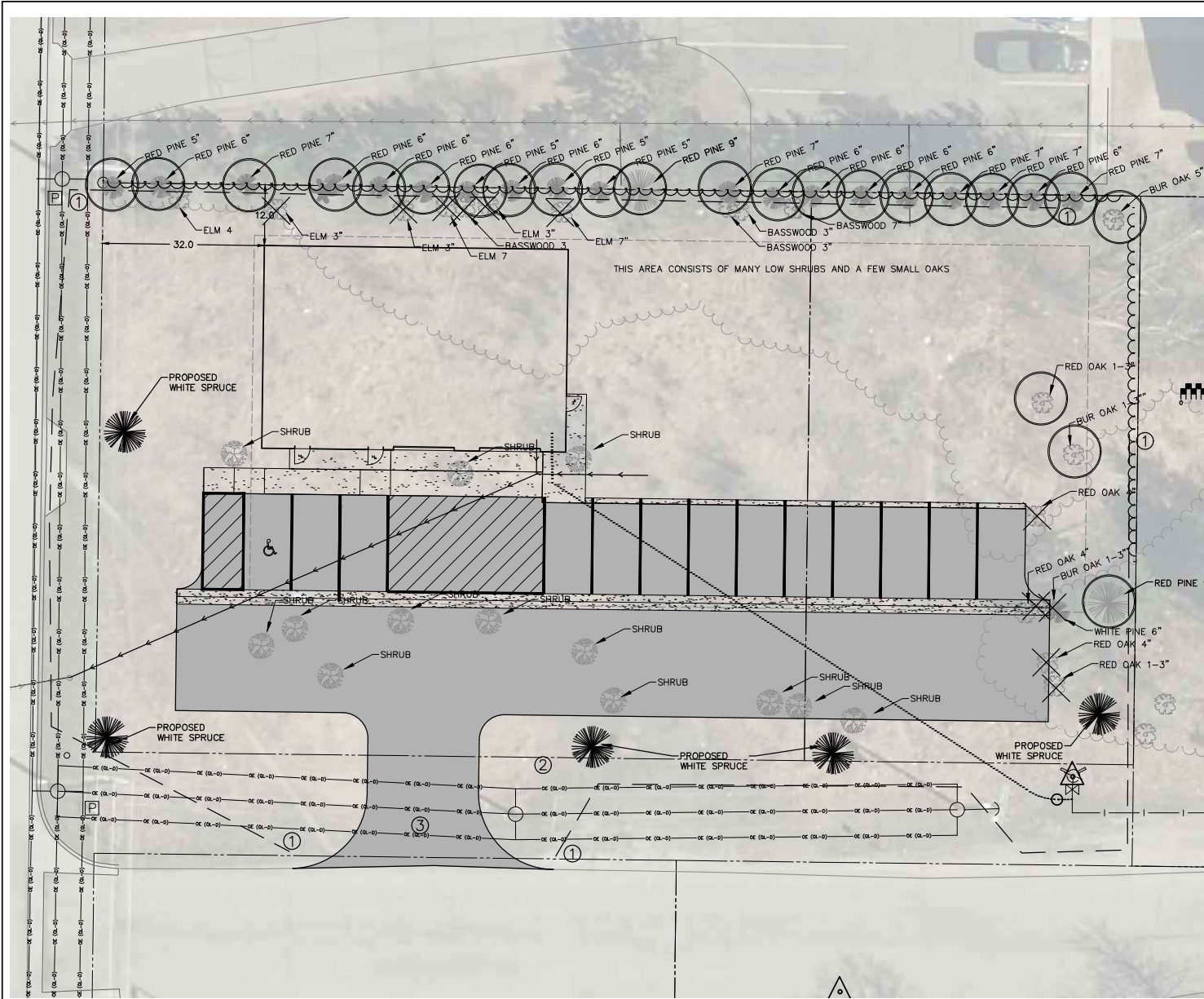
ALL TREES TO BE PRESERVED PLUS 28 NON-HQ SITE TREES EXISTING GIVES A TOTAL TREE COUNT ON THE PARCEL OF 30 WITH A BASE MINIMUM REQUIREMENT OF 6 TOTAL TREES.

FRONT YARD SETBACK TREES(1 PER 50 LF)  
 REQUIRED: 317 LF/50 LF => 7 TREES

3 EXISTING FRONT YARD SETBACK TREES (NW CORNER OF SITE)

5 NEW PROPOSED WHITE SPRUCE (4' MIN HEIGHT) NEW FRONT YARD TREES. ALTERNATIVELY, TREES COULD BE OTHER SPECIES OF CONIFERS MEETING THE 4' HEIGHT MINIMUM OR DECIDUOUS TREES MEETING THE CALIPER SIZE MIN. (1.75" DIAM.)

- NORWAY PINE (EXISTING)
- TREES TO BE REMOVED
- TREES TO BE PRESERVED
- TREES TO BE PLANTED (FROM ON-SITE STOCK)



NO.	BY	DATE	DESCRIPTION

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 MARK FULLER REG. NO. 59392



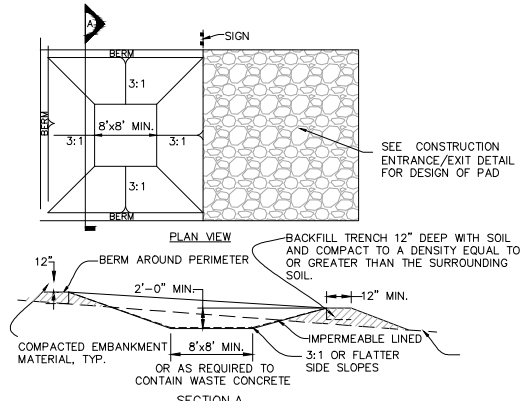
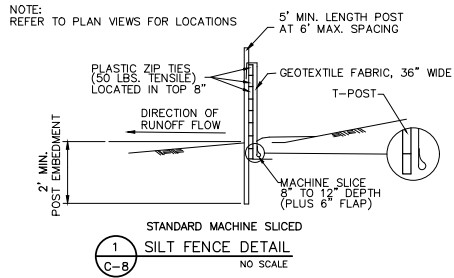
DESIGNED	MJF	9/8/25
DRAWN	WAM	9/8/25
CHECKED	MJF	9/8/25
APPROVED		
BY		

GLASS DOCTOR  
 BEMIDJI, MINNESOTA

**EROSION CONTROL/TREE PRESERVATION PLAN**

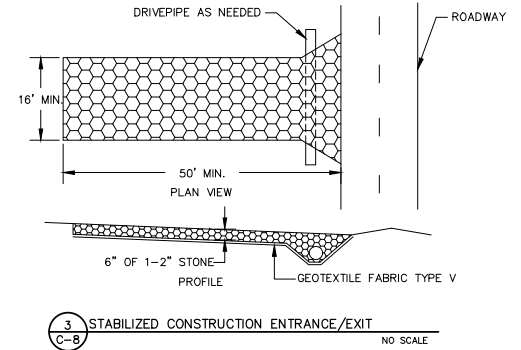
PROJECT NO.  
 25016

**C - 7**



- CONCRETE WASHOUT AREA INSTALLATION NOTES**
1. SEE PLAN VIEW FOR LOCATIONS OF CONCRETE WASHOUT AREA.
  2. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
  3. VEHICLE TRACKING CONTROL IS REQUIRED AT THE ACCESS POINT.
  4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMPS.
  5. EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION.

- CONCRETE WASHOUT AREA MAINTENANCE NOTES**
1. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
  2. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
  3. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, DRILL SEED AND CRIMP MULCH OR OTHERWISE STABILIZE IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
  4. INSPECT WEEKLY, DURING AND AFTER ANY STORM EVENT.
- 2** HAZARDOUS MATERIAL WASHOUT DETAIL  
C-8 NO SCALE



NO.	BY	DATE	DESCRIPTION

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MARK FULLER REG. NO. 59392



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BY		
DATE		

GLASS DOCTOR  
BEMIDJI, MINNESOTA

EROSION DETAILS

PROJECT NO.  
25016

**C - 8**

## Packet Distribution List

### City of Bemidji – ZOA-2025-0003 – S&D Glass Inc

	<u>Contact</u>	<u>E-MAILED</u>	<u>US Mailed</u>
<input checked="" type="checkbox"/>	Applicant / Representative	9/4/2025	_____
<input checked="" type="checkbox"/>	City Building Department	9/4/2025	_____
<input type="checkbox"/>	City Attorney	_____	_____
<input checked="" type="checkbox"/>	City Engineer	9/4/2025	_____
<input checked="" type="checkbox"/>	City Manager	9/4/2025	_____
<input type="checkbox"/>	City Community Development (Vacant)	_____	_____
<input checked="" type="checkbox"/>	City GIS Department	9/4/2025	_____
<input checked="" type="checkbox"/>	City Police Department	9/4/2025	_____
<input checked="" type="checkbox"/>	City Fire Department	9/4/2025	_____
<input type="checkbox"/>	City Parks Department	_____	_____
<input type="checkbox"/>	Beltrami County ESD/SWCD	_____	_____
<input type="checkbox"/>	Beltrami County Recorder	_____	_____
<input type="checkbox"/>	Beltrami County GIS Department	_____	_____
<input type="checkbox"/>	Beltrami County Sheriff	_____	_____
<input type="checkbox"/>	Beltrami County Engineer / Highway	_____	_____
<input type="checkbox"/>	Beltrami County Natural Resources	_____	_____
<input type="checkbox"/>	MnDNR Trails	_____	_____
<input type="checkbox"/>	MnDNR Waters	_____	_____
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<input type="checkbox"/>	Bemidji School District	_____	_____
<input type="checkbox"/>	MPCA Closed Landfill Program	_____	_____
<input type="checkbox"/>	U.S. Army Corps of Engineers	_____	_____
<input type="checkbox"/>	Minnesota Chippewa Tribe	_____	_____
<input type="checkbox"/>	Red Lake Nation DNR	_____	_____
<input type="checkbox"/>	White Earth Nation DNR	_____	_____
<input type="checkbox"/>	Leech Lake Band DRM	_____	_____
<input type="checkbox"/>	Bemidji Sustainability Commission	_____	_____
<input checked="" type="checkbox"/>	Other: Planning & Zoning Attorney.	9/4/2025	_____



Planning and Zoning Department  
City of Bemidji

317 4<sup>th</sup> Street NW Bemidji, MN 56601 Office (218) 759-3579 Fax (218) 759-3591

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**September 3, 2025**

**City of Bemidji** – ZOA-2025-0003: - Jane Marks-Hastig representing S&D Glass Inc. is requesting a (Rezone) Land Use Map Amendment from R-5 High Density Residential Zoning District to B-2 General Commercial Zoning District with plans to construct a portion of their parking lot that would serve a building on the adjacent parcel for a service and retail business. The subject property is located at TBD 24<sup>th</sup> St NW (PIN 800331600) in the City of Bemidji.

The parcel legal description is as follows:

Lot 15, Block 1, Wagner's Third Add. to Bemidji,  
less the East 125 feet thereof, and less the South 20 feet thereof.

The City of Bemidji Planning and Zoning Commission will consider this proposal at its meeting on **Thursday, September 18th, 2025, at 5:30 p.m.** in the Council Chambers at Bemidji City Hall or may be viewed on Local Channel 2.

If you have any comments, you may present them to the Commission at that time. It would be encouraged to direct your comments in writing to the Planning and Zoning Planner assigned to the Case, **Melissa Fahrenbruch's** attention at the Planning office at 317 4<sup>th</sup> Street NW, or by email to **SGAdmin@ci.bemidji.mn.us**. If possible, your comments should be submitted by **Friday, September 12th, 2025**, so they may be incorporated into our report to the Planning and Zoning Commission. The report, along with any other pertinent information regarding this planning case will be available prior to the meeting on our website ([City of Bemidji/Boards, Commissions, and Committees/Planning Commission](#)) and at city hall. Attached is a copy of the application and other supporting documentation.

If you have any questions or need further information, please feel free to contact our office at 218-759-3579 or email the planner assigned to the case (see email address above). City departments may access through SmartGov application **ZOA-2025-0003**.

Respectfully,

Melissa Fahrenbruch  
Assistant Planner  
City of Bemidji Planning and Zoning Department



Planning & Zoning Department  
City of Bemidji

317 4<sup>th</sup> Street NW Bemidji, MN 56601 Office (218) 759-3579 Fax (218) 759-3591

---

**September 3, 2025**

Dear Property Owner:

The City of Bemidji Planning and Zoning Commission will conduct a public hearing to discuss the following application:

**City of Bemidji** – ZOA-2025-0003: - Jane Marks-Hastig representing S&D Glass Inc. is requesting a (Rezone) Land Use Map Amendment from R-5 High Density Residential Zoning District to B-2 General Commercial Zoning District with plans to construct a portion of their parking lot that would serve a building on the adjacent parcel for a service and retail business. The subject property is located at TBD 24<sup>th</sup> St NW (PIN 800331600) in the City of Bemidji.

This public hearing will be held on **Thursday, September 18th, 2025, at 5:30 p.m.** The meeting will be held in the Council Chambers of the Bemidji City Hall located at 317 4<sup>th</sup> Street NW or may be viewed on local Channel 2. You are invited to attend this public hearing, express your opinions on the proposal at the hearing, if not able to attend, by email (preferred method), letter, or phone call to the Planning and Zoning Department. If possible, your written comments should be submitted by **Friday, September 12th, 2025**, so they may be incorporated into our report to the Planning Commission. **Our report, along with any other pertinent information regarding this planning case will be available prior to the meeting on our website ([City of Bemidji/Boards, Commissions, and Committees/Planning Commission](#)) and at city hall.**

If you have any questions, please feel free to contact us at (218) 759-3579, or email comments to **SGAdmin@ci.bemidji.mn.us**

Respectfully,

Planning Staff  
City of Bemidji  
Planning & Zoning Department

TANYA J ANDERSON  
514 25TH ST NW  
BEMIDJI, MN 56601

NORTHWOODS HOLDINGS LLC  
PO BOX 218  
ELK RIVER, MN 55330

REGINA MAY STENDER  
520 25TH ST NW  
BEMIDJI, MN 56601

HAROLD R AYLESWORTH  
NOEMI M AYLESWORTH  
1719 S LAKE IRVING DR SW  
BEMIDJI, MN 56601

HREP BEMIDJI ASSOCIATES LLC  
1535 NORTH ELSTON AVE  
CHICAGO, IL 60642

TIM ORTON PROPERTIES LLC  
PO BOX 820  
WALKER, MN 56484

CHESTER BERG MOTORS INC  
705 PAUL BUNYAN DR NW  
BEMIDJI, MN 56601

BEMIDJI PORTFOLIO ASSOC LLC  
1535 N ELSTON AVE  
CHICAGO, IL 60642

CERMAK PROPERTIES LLC  
613 GRANT LAKE LN SW  
BEMIDJI, MN 56601

PLATINUM DEV OF BEMIDJI LLC  
15225 BIG TURTLE DR NE  
BEMIDJI, MN 56601

GILBERT W MOUSER JR TRUSTEE  
MOUSER FAMILY TRUST  
10130 WILDWOOD RD NE  
BEMIDJI, MN 56601

ASMINOV ENTERPRISES LLC  
502 24TH ST NW  
BEMIDJI, MN 56601

ALBERT BERGE  
TERRI BERGE  
51448 WHIPPOORWILL RD  
BEMIDJI, MN 56601

S & D GLASS INC  
750 PAUL BUNYAN DR NW  
BEMIDJI, MN 56601

SHERWIN A CARLSON  
HELEN CARLSON  
PO BOX 35370  
LOUISVILLE, KY 40232

CARLTON N BRAUGHT  
ANNALISE O BRAUGHT  
512 24TH ST NW  
BEMIDJI, MN 56601

DOUGLAS L UNDERTHUN  
MARTA J UNDERTHUN  
312 29TH ST NW  
BEMIDJI, MN 56601

MARVIN DEVELOPMENT III LLC  
5425 BOONE AVE N  
NEW HOPE, MN 55428

CITY OF BEMIDJI  
317 4TH ST NW  
BEMIDJI, MN 56601

MOVERS LLC  
809 PAUL BUNYAN DR S  
BEMIDJI, MN 56601

OTTER TAIL CORPORATION  
215 S CASCADE ST  
FERGUS FALLS, MN 56537

DRG PROPERTIES LLC  
PO BOX 1652  
BEMIDJI, MN 56619

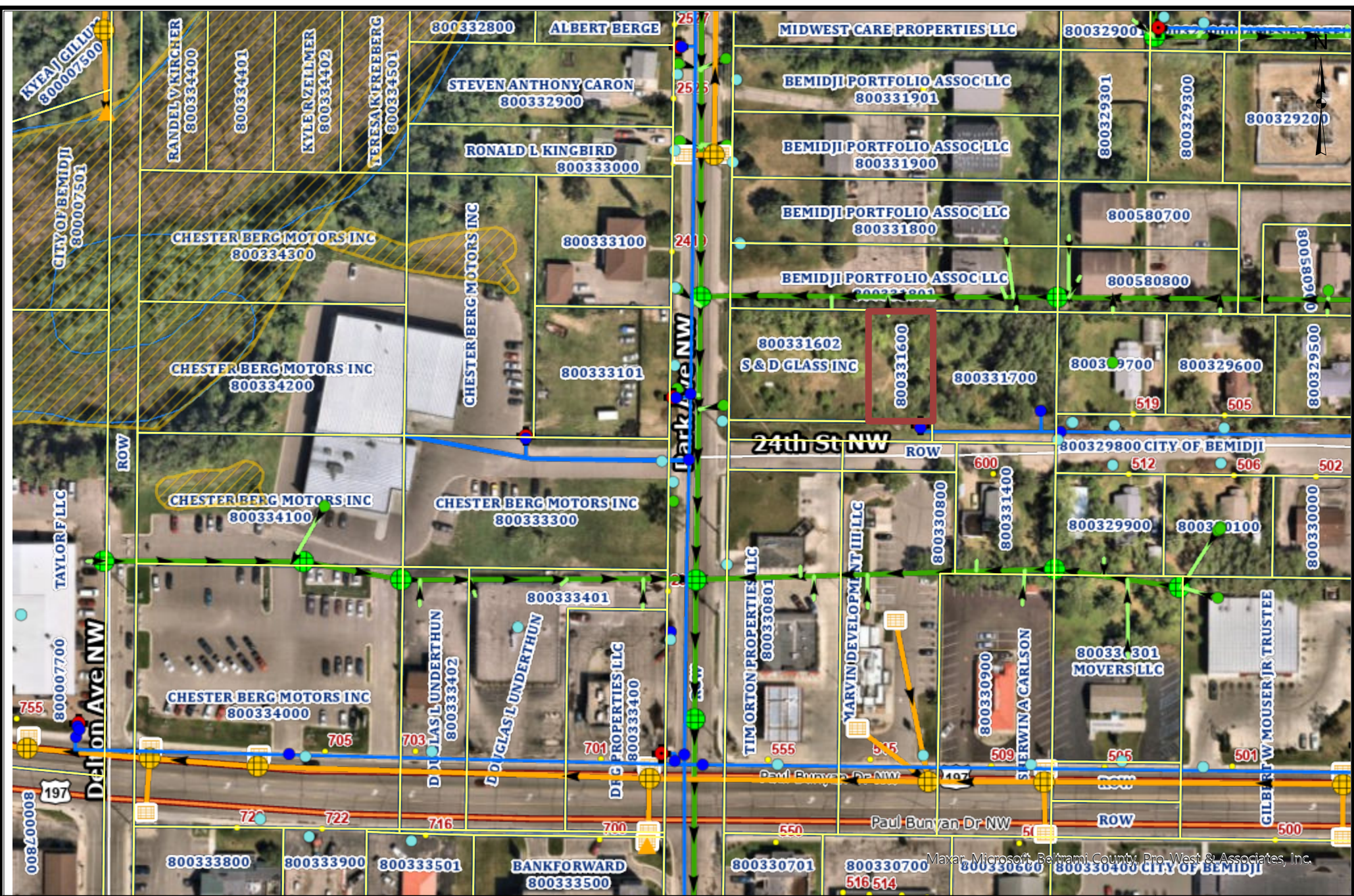
MIDWEST CARE PROPERTIES LLC  
1870 50TH ST E # 7  
INVER GROVE HEIGHTS, MN 55077

EAGLES WING PROPERTIES LLC  
7326 BIRCHMONT CT NE  
BEMIDJI, MN 56601

STEVEN ANTHONY CARON  
2525 PARK AVE NW  
BEMIDJI, MN 56601

RONALD L KINGBIRD  
SHARON L KINGBIRD  
2523 PARK AVE NW  
BEMIDJI, MN 56601





These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

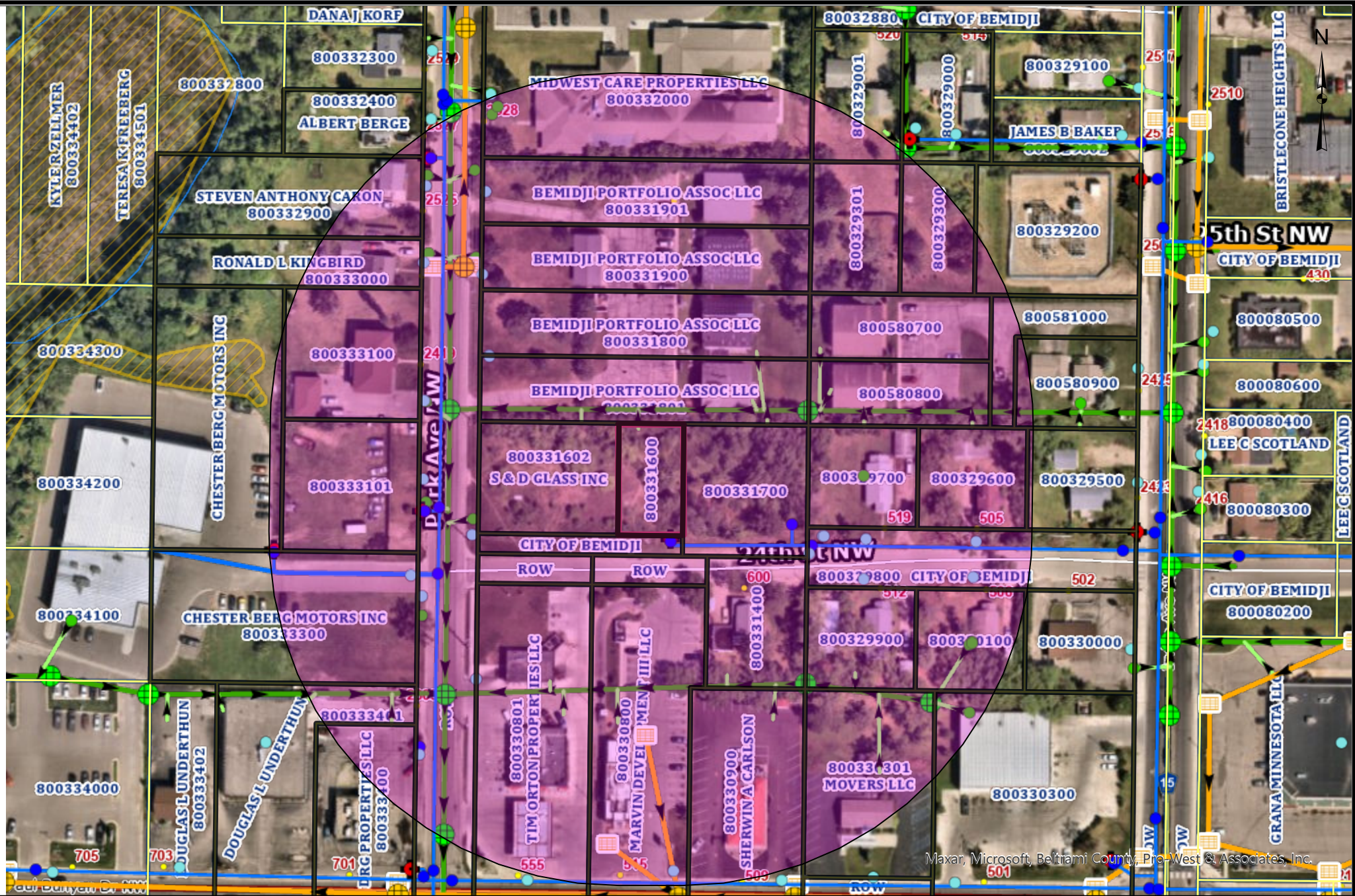
Aerial Map

1:2,257

Date: 8/29/2025

Page 30 of 34

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.



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**Buffer Map**

1:2,257

Date: 8/29/2025

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# AFFIDAVIT OF PUBLICATION

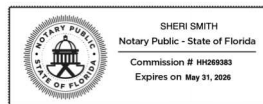
State of Florida, County of Broward, ss:

Anjana Bhadoriya, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of the The Bemidji Pioneer, a newspaper printed and published in the City of Bemidji, County of Beltrami, State of Minnesota.

1. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.
2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.
3. The dates of the month and the year and the day of the week upon which the public notice attached/copied below was published in the newspaper are as follows: Saturday, September 6, 2025
4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to §331A.06, is as follows: \$13.00 per column inch.
5. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in BELTRAMI County. The newspaper complies with conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

*Anjana Bhadoriya*

(Signed) \_\_\_\_\_



## VERIFICATION

State of Florida  
County of Broward

Subscribed in my presence and sworn to before me on this: 09/08/2025

*S. Smith*

Notary Public  
Notarized remotely online using communication technology via Proof.

## CITY OF BEMIDJI PLANNING AND ZONING COMMISSION NOTICE OF PUBLIC HEARINGS & MEETINGS

NOTICE IS HEREBY GIVEN, that on **Thursday, September 18, 2025, at 5:30 PM** or as soon thereafter as possible, the City of Bemidji Planning and Zoning Commission will conduct a Public Hearing in-person in the Council Chambers of Bemidji City Hall, located at 317 4th St. NW, Bemidji MN, and broadcasted on Channel 2, regarding the following request(s):

**Rezone Request:** Jane Marks-Hashtig representing S&D Glass Inc. is requesting a (Rezone) Land Use Map Amendment from R-5 High Density Residential Zoning District to B-2 General Commercial Zoning District with plans to construct a portion of their parking lot that would serve a building on the adjacent parcel for a service and retail business. The subject property is located at TBD 24th St NW (PIN 800331600) in the City of Bemidji.

All interested parties are invited to attend the public hearing(s) and comment on the proposal(s). If you are unable to attend in person, comments can be submitted by email to [SGAdmin@ci.bemidji.mn.us](mailto:SGAdmin@ci.bemidji.mn.us) (preferred method), letter, or phone call to the Planning and Zoning Department. Call 218-759-3579 or visit our website at [www.ci.bemidji.mn.us](http://www.ci.bemidji.mn.us) for more information. If possible, your written comments should be submitted by **Friday, September 12, 2025**, so they may be incorporated into the staff report to the Planning Commission.  
(Sep. 6, 2025)

# 2026

## CITY OF BEMIDJI

### PLANNING COMMISSION / PUBLIC HEARING & PLANNING BOARD MEETING SCHEDULE

The following reflects the schedule of dates, which are to be met when an application requiring a Public Hearing is submitted for Planning Department review. If you have questions, please contact the Planning Department at 218-759-3579.

	APPLICATION CUTOFF DATE <i>(Last business day of previous month unless noted otherwise)</i>	NOTICE TO PAPER*	NOTICE PUBLISHED	PLANNING COMMISSION MEETING/ PUBLIC HEARING	PLANNING BOARD MEETING
JANUARY	Wednesday, Dec. 31, 2025	1/8	1/10	1/22	2/9
FEBRUARY	Friday, January 30	2/12	2/14	2/26	3/9
MARCH	Friday, February 27	3/12	3/14	3/26	4/13
APRIL	Tuesday, March 31	4/9	4/11	4/23	5/11
MAY	Thursday, April 30	5/14	5/16	5/28	6/8
JUNE	Friday, May 29	6/11	6/13	6/25	7/13
JULY	Tuesday, June 30	7/9	7/11	7/23	8/10
AUGUST	Friday, July 31	8/13	8/15	8/27	9/14
SEPTEMBER	Monday, August 31	9/10	9/12	9/24	10/13**
OCTOBER	Wednesday, September 30	10/8	10/10	10/22	11/9
NOVEMBER	Friday, October 30	11/5	11/7	11/19***	12/14
DECEMBER	Monday, November 30	12/10	12/12	12/22***	1/11/2027

\*Notice to newspaper *no later* than Thursday at 12:00 PM for Saturday Publication.

\*\*Board meeting moved to Tuesday due to Monday holiday

\*\*\*Commission meeting date changed due to holidays

GENERALLY:

- The Planning Commission meets on the fourth Thursday of each month at **5:30 pm.**\*\*
- The Planning Board meets on the second Monday of each month at **5:30 pm.**\*\*
- All meetings will be held in the Bemidji City Council Chambers at 317 4<sup>th</sup> Street N.W.

**PLEASE NOTE: ALL MEETINGS ARE SUBJECT TO CHANGE.**

August 27, 2025

# December 2026

SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
29	30	1	2	3	4	5
6	7	8	9	10	11	12
13	14 <span style="color: blue;">Board</span>	15	16	17	18	19
20	21	22 <span style="background-color: yellow;">Commission</span>	23	24 <span style="color: red;">Christmas Eve</span>	25 <span style="color: red;">Christmas Day Office Closed</span>	26
27	28	29	30	31 <span style="color: red;">New Year's Eve</span>	1	2