

BEMIDJI PLANNING COMMISSION REGULAR MEETING AGENDA

Thursday, December 18, 2025

**Council Chambers
City Hall – 317 4th Street NW
5:30 PM**



- 1. CALL MEETING TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGIANCE TO THE FLAG**
- 4. APPROVAL OF AGENDA**
- 5. APPROVAL OF MEETING MINUTES**
 - a. October 23, 2025 Planning Commission Meeting Minutes
- 6. VISITORS WITH BUSINESS NOT ON THE AGENDA**
- 7. NEW BUSINESS**
 - b. Public Hearing: Conditional Use Permit Requests for Parcel 80.03761.00 - Kodiak Builders
 - c. Public Hearing: Conditional Use Permit Requests for Parcel 80.00083.00 - Tamarack Woods Apartments
 - d. Public Hearing: Interim Use Permit Request for Parcel 80.04204.00 - First City Cannabis
 - e. Public Hearing: Rezone (Zoning Map Amendment) and Conditional Use Permit Requests for Parcel 80.03760.00 - Vision Properties of Bemidji
 - f. Public Hearing: Ordinance Text Amendment for Article X, Section 28-429 Cannabis Zoning and Land Use
- 8. OLD BUSINESS**
- 9. UPCOMING COMMISSION MEETINGS**
 - g. Planning Commission Meeting January 22, 2026
Planning Commission Meeting February 26, 2026
- 10. ADJOURN**

**PLANNING COMMISSION
BEMIDJI, MINNESOTA
Regular Meeting – October 23, 2025**

CALL TO ORDER: Chair Don Heinonen called the regular meeting of the City of Bemidji Planning Commission to order at **5:32 p.m.** Roll call was taken, and the pledge of allegiance was recited.

Members present: Faver, Heinonen, Lemmer, Peterson, Meehlhause.

Members excused: McCoy.

Staff Present: Planning Director Jamin Carlson, Assistant Planner Melissa Fahrenbruch, Planning Administrative Assistant Ainslee Krause.

Others Present: Troy Gilchrist (via phone).

AGENDA

Chair Heinonen called for any amendments to the agenda. Motion by **Meehlhause**, seconded by **Lemmer**, to approve the agenda. Motion carried by unanimous voice vote.

MINUTES

The minutes for the **September 18, 2025**, Planning Commission meeting were presented for approval. Motion by **Lemmer**, seconded by **Peterson**, approving minutes as presented. Motion carried by unanimous voice vote.

VISITORS WITH BUSINESS NOT ON AGENDA: No appearance.

NEW BUSINESS

Public Hearings:

PLANNING CASE: INTERIM USE PERMIT REQUEST – NORTHWEST TIRE

Fahrenbruch presented the planning case request: Chad Burchinal representing Northwest Tire, Inc is requesting an Interim Use Permit (IUP) for operating Heavy Truck, Construction Equipment Service Business. The subject property is located at 840 Industrial Park Dr SE (PIN 800449200) in the City of Bemidji. This property is in the I-1 Industrial Park/Light Industrial Zoning District. Conclusions based on the Ordinance and Comprehensive Plan were presented in the packet including conditions and findings of fact.

Commission members made no comments.

Public Hearing

Pursuant to published notice, a public hearing was held regarding input on the request. Chair Heinonen opened the Public Hearing at **5:36 PM**, hearing the following comments:

- Corey Grossman, president of NorthWest Tire, addressed the commission and noted that they leased the property after the June storm. Grossman expressed a hope for leniency on planting trees on the property. Grossman expressed tentative future plans of purchasing the subject property, tearing down their damaged building at their old location, and building an additional building on this site.

Hearing no further comments Chair Heinonen closed the Public Hearing at **5:39 PM**.

Motion by **Peterson**, seconded by **Lemmer**, to recommend approval of the Interim Use Permit request for parcel 800449200, with the conditions and findings of fact as presented in the packet. Motion carried by the following roll call vote: Ayes: **Peterson, Meehlhause, Lemmer, Heinonen, Faver**. Nays: **None**.

Chair Heinonen addressed that the request would go before the Planning Board at their next meeting on **November 10, 2025**, at 5:30 PM for the final decision.

PLANNING CASE: VARIANCE REQUEST – ERIK THORSON

Carlson presented the planning case request: Erik Thorson is requesting a Variance from the Shoreland lot width and lot size minimum standards to build a bedroom addition to the current house on an existing lot of record in the R-4 Moderate Density Residential zoning district and the Shoreland Overlay (General Development Lake). The subject property is located at 2114 Birchmont Dr NE (PIN #80.00537.00) in the City of Bemidji. The requested variances are as follows:

1. A reduction in lot size of 2,990 square feet per Section 28-352 requirement of 15,000 square feet in lot size for lots served by Municipal Sewer;
2. A reduction in lot width of 29.18 feet per Section 28-352 requirement of 100 feet in lot width at the ordinary high-water mark and at the building line;

Conclusions based on the Ordinance and Comprehensive Plan were presented in the packet including conditions and findings of fact.

Commission members made no comments.

Public Hearing

Pursuant to published notice, a public hearing was held regarding input on the request. Chair Heinonen opened the Public Hearing at **5:42 PM**, hearing the following comments:

- Erik Thorson, property owner, addressed the commission.

Hearing no further comments Chair Heinonen closed the Public Hearing at **5:44 PM**.

Motion by **Meehlhause**, seconded by **Peterson**, to recommend approval of the variance request for parcel 800053700, with the conditions and findings of fact as presented in the packet. Motion carried by the following roll call vote: Ayes: **Peterson, Meehlhause, Lemmer, Heinonen, Faver**. Nays: **None**.

Chair Heinonen addressed that the request would go before the Planning Board at their next meeting on **November 10, 2025**, at 5:30 PM for the final decision.

PLANNING CASE: CONDITIONAL USE PERMIT REQUEST – PETERSON SHEET METAL

Carlson presented the planning case request: Peterson Sheet Metal is requesting a Conditional Use Permit for an existing legal non-conforming Contractor's Shop use to build an additional structure on the property. The subject property is located at 3728 Bemidji Ave N (PIN 800676000) in the City of Bemidji. This property is zoned B-1 Low Density Commercial District and the Shoreland Overlay.

Conclusions based on the Ordinance and Comprehensive Plan were presented in the packet including conditions and findings of fact.

Commission members made the following comments:

- Heinonen inquired about the applicant's plan for storage trailers stored onsite.

Public Hearing

Pursuant to published notice, a public hearing was held regarding input on the request. Chair Heinonen opened the Public Hearing at **5:49 PM**, hearing the following comments:

- Jaime Quello, representing Peterson Sheet Metal, addressed the commission and noted their growth and plan for an additional building due to their need to expand. Quello addressed that the aerial image in the packet is old, and they have slowly been moving trailers out to their other location on Carr Lake Road. Quello addressed that the goal is not to have trailers stored at the subject location.

Hearing no further comments Chair Heinonen closed the Public Hearing at **5:52 PM**.

Motion by **Peterson**, seconded by **Lemmer**, to recommend approval of the Conditional Use Permit request for parcel 800676000, with the conditions and findings of fact as presented in the

DRAFT

packet. Motion carried by the following roll call vote: Ayes: **Peterson, Meehlhause, Lemmer, Heinonen, Faver.** Nays: **None.**

Chair Heinonen addressed that the request would go before the Planning Board at their next meeting on **November 10, 2025**, at 5:30 PM for the final decision.

OLD BUSINESS

Development Code Review – Staff Update

Fahrenbruch provided an update regarding the review of the Development Code.

- The International Sign Association completed a preliminary review of the sign code.
- The city obtained the Local Climate Adaptation Grant through the MPCA and is working with Great Plains Institute, who completed a review of the code and provided suggestions regarding EV charging and the like.
- The parks superintendent is in the process of applying for the ReLeaf grant that would include an update to the city's tree ordinance. A subcommittee will need to be created to review those portions of the code.
- The state has made some changes to state statute, and this could potentially require a change to the city code regarding low-potency hemp edibles.
- Members discussed.

Further Discussion:

- Members and staff discussed the process regarding storm damaged/dilapidated properties.
- Members and staff discussed the rail corridor.
- Carlson addressed that the start date is tentatively November 3rd for the rail corridor, with the first step being to take the buildings down, the Final Planned Unit Development must still be completed, and test excavation was completed recently.

UPCOMING COMMISSION MEETINGS

- Thursday, November 20, 2025 5:30 p.m. Planning Commission Meeting

ADJOURN

There being no further business, motion by **Meehlhause**, seconded by **Lemmer**, to adjourn the meeting. Motion carried. Meeting adjourned at **6:08 p.m.**

Respectfully submitted,

Ainslee Krause
Planning & Building Administrative Assistant

PC Minutes approved and attested by: _____
Planning Commission Representative

The City of Bemidji Planning and Zoning Department

PLANNING CASE: SUP-2025-0011	MEETING DATE: November 20, 2025 postponed to December 18, 2025
APPLICANT: Kodiak Builders, LLC (Ben Kerr, owner)	60-DAY RULE DATE: December 28, 2025 60-Day Rule Extension Date: February 25, 2026
PROCEEDING: Conditional Use Permit (CUP) - Contractor's Shop - Storage Facility and Mixed Use (Commercial & Residential).	ZONING DISTRICT: (B-2) General Commercial Zoning District
PREPARED BY: Melissa Fahrenbruch Assistant Planner	EXHIBITS: Aerial Map, Application, Site Plans, Supporting Documentation

PLANNING REPORT

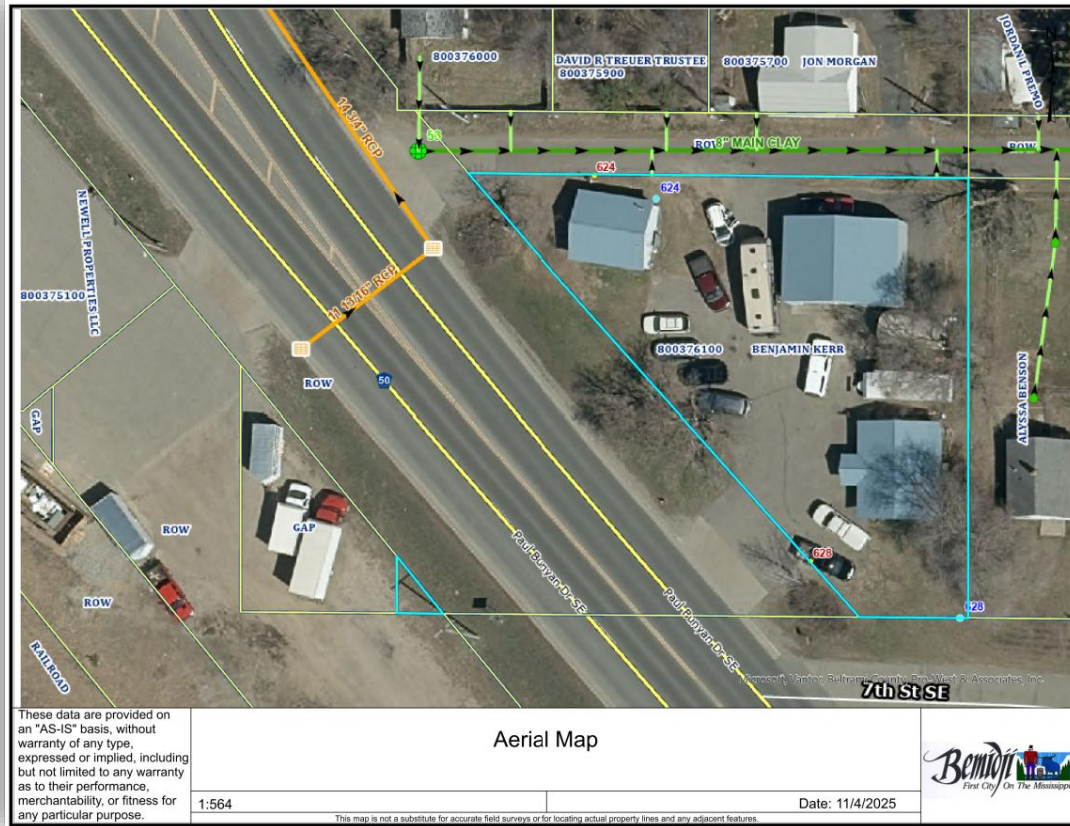
SUMMARY OF REQUEST

Ben Kerr representing Kodiak Builders, LLC is requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

BACKGROUND

The property has seen many uses over the years. The last business to occupy the site was an auto detail shop. A small studio house was occupied at some point in the past, however, has been vacant for several years.

The applicant is seeking a Conditional Use Permit (CUP) to Operate a Contractor's Shop and Storage for their Construction business and have Mixed Use status to rent out the small house.



DISCUSSION/DEVELOPMENT ANALYSIS

Planning Considerations

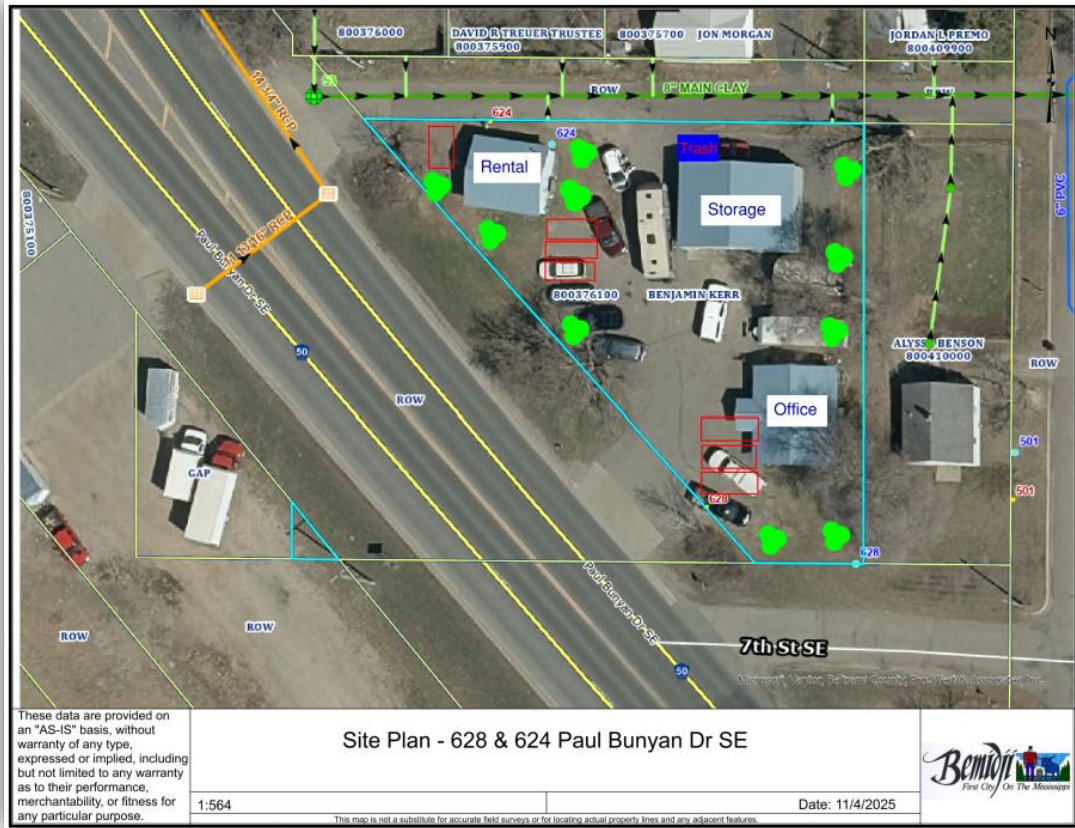
All Conditional Use Permits must follow the general requirements including process, criteria, and findings. A conditional use permit is recorded and runs with the land, not with the owner/applicant.

Per City of Bemidji Code Section 28-9:

CONDITIONAL USE: A land use or development as defined by ordinance that may be allowed only after an in-depth review procedure and with appropriate restrictions or conditions as provided by this development code upon a finding that standards and criteria stated in this code will be satisfied. A conditional use must conform to the City of Bemidji Land Use Plan and be compatible with the existing neighborhood.

Section 28-3. - Intent and purpose.

Per the Ordinance, it's our responsibility to protect and conserve the value of land throughout the city, and the value of buildings appropriate to the various districts established by this ordinance.



Parking and Traffic

As the parking in Section 28-409 of the Development Ordinance does not call out contractors' shop, the closest type of use would be personal services and repair: One (1) space for each four hundred (400) square feet of gross floor area, plus one (1) space for each employee on max shift. This location also has offices in the main structure which will need to meet those parking requirements. Professional offices: One (1) space for each three hundred (300) square feet of gross floor area, plus one (1) space for each employee on max shift. The applicant will provide six (6) spaces for employees and customers and one (1) space for the rental.



Trees

Road frontage trees will be required per Section 28-406 of the Ordinance along with greenspace. The applicant will be planting ten (10) trees in total, five (5) of those are along the road frontages. One (1) existing tree will be replaced due to damage from the June 2025 storm.



Lighting

All exterior lighting proposed for this site must meet Section 28-408 of the Development Ordinance. No change to lighting is currently proposed.

Signage

Any new signage must comply with Section 28-252 of the Development Ordinance. Sign permits will need to be submitted for approval prior to installation.

Trash Handling

All dumpsters or recycling containers located on-site shall be fully enclosed complying with Section 28-402 of the Development Ordinance. Such areas shall be completely screened and enclosed on all sides, except the roof, with an enclosure or screening wall with durable and opaque material at a minimum of six (6) feet in height.



Development Team:

[City Engineer/Director of Public Works, Sam Anderson](#)

I don't see major issues with this proposal on the engineering side of things.

If they are continuing with residential refuse pick-up, that will need to be through the City of Bemidji being in city limits. If they go with commercial refuse, then they could work with Jon's Refuse, Waste Management, etc.

Thanks,

Sam Anderson, P.E. | *City Engineer/Director of Public Works | City of Bemidji*

[Beltrami County Highway Division, County Engineer, Bruce Hasbargen](#)

The Beltrami County Highway Division has reviewed this request. We note potential safety concerns related to the parcel's access to CSAH 50 (Paul Bunyan Drive) and the volume of traffic using it. However, since the proposed use is limited to the business office and storage with no or minimal increase in traffic expected, we have no objections to the request.

*Bruce Hasbargen
County Engineer*

Neighboring Property Owner input

No surrounding property input was obtained when this report was written.

Comprehensive Plan References

Objective 4.2: Preserve and Promote Commercial and Industrial Redevelopment or In-Fill Development Where Appropriate

Providing opportunity for commercial and industrial redevelopment is imperative to reduce urban sprawl and increase land use densities where appropriate. Land use planning can preserve existing developed areas and ensure land is available as well as compatible for increased development.

Objective 4.3: Promote Land Use Decisions that Protect the Natural Environment through Smart Growth and Sustainable Practices

- 1. Promote flexibility for commercial and industrial redevelopment and encourage in-fill development.*** *Allowing for in-fill development and redevelopment of existing commercial areas will ensure the current commercial and industrial areas remain vibrant, full, and diverse. In-fill and redevelopment will be encouraged before resorting to increasing commercial and industrial areas.*
- 4. Support a reduction of off-street parking requirements for appropriate land uses to allow for increased interior green space.*** *Maximize the potential for green space with all development or redevelopment of sites, when possible, as well as for reduced heat island effects of increased temperatures within the high-density urban area of parking lots.*

Objective 6.2: Promote and Maintain the Status of an Economic Regional Center

The City of Bemidji has become an economic regional center for northern Minnesota. The community will continue to provide the amenities for shopping, recreation, and entertainment that keep jobs and people coming to the area.

The proposed use in this district is consistent with the City of Bemidji Comprehensive Plan, as well as the City of Bemidji Code; provided the CUP process is followed, and specific conditions are met in order to assure compatibility with surrounding uses.

Zoning Ordinance References

Section 28-3. - Intent and purpose

Section 28-9 – Definitions

Section 28-81 – Allowed, Permitted, Conditional, and Interim Uses

Section 28-82 – Land Use Matrix

Section 28-252 – Signs Permitted in the B-1 and B-2 Commercial Zoning Districts

Section 28-402 – Exterior Storage and Outdoor Display of Merchandise

Section 28-406 – Landscaping Requirements

Section 28-408 – Lighting Standards

Section 28-409 – Parking Standards

Section 28-524 – Conditional Use or Interim Use Permits

RECOMMENDATION & FINDINGS

Conclusion based on the Ordinance and the Comprehensive Plan.

The Planning Commission must decide whether the conditions are sufficient for approval of a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the

property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji.

The following are the proposed conditions and findings of fact:

Conditions

1. All exterior lighting on-site shall comply with Section 28-408 of the Ordinance.
2. All dumpsters on-site shall be fully enclosed complying with Section 28-402 of the Ordinance.
3. A landscaping plan meeting Section 28-406 of the Ordinance shall be submitted for review and approval. Trees and landscaping must be planted and maintained within 12 months of approval of the CUP.
4. A parking plan meeting Section 28-409 of the Ordinance shall be submitted for review and approval and work completed within 12 months of approval of the CUP.
5. The CUP shall expire and become void if the use it allows is not substantially started within twelve (12) months from its date of issuance. A substantial start means more than preliminary steps have been taken such that preparations to initiate the use are mostly complete. The City of Bemidji may, upon written request of the owner, grant an extension to this deadline not to exceed an additional twelve (12) months.

Findings of Fact

- 1. Whether the proposed use adversely affects the public safety, health, morals, convenience, and general welfare of the occupants of the surrounding land.**

The proposed use is not anticipated to adversely affect, nor create an unreasonable level of disruption or interference upon the surrounding area.

- 2. Whether the proposed use adversely affects traffic conditions and parking on adjacent streets and land.**

This use should not have an impact on the adjacent street and/or land as the parking for the business is in the front of the building on the parcel. A parking space for the rental is in front of the small house and will need to be paved.

- 3. Whether the proposed use adversely affects property in the surrounding area.**

The proposed use is not anticipated to adversely affect, nor create an unreasonable level of disruption or interference upon the surrounding area.

- 4. Whether the proposed use is in conformance with the community's Comprehensive Plan or Land Use Plan.**

The proposed use is consistent with the goals and policies of the City of Bemidji Comprehensive Plan as well as the City Code through an approved CUP.

- 5. Whether adequate utility, drainage and other such necessary facilities have been or can be provided.**

The property has adequate infrastructure and is served by City services.



Application

SUP-2025-0011

CONDITIONAL OR INTERIM USE PERMIT

SITE ADDRESS: 628 PAUL BUNYAN DR SE BEMIDJI
PRIMARY PARCEL: 800376100
PROJECT NAME: KODIAK BUILDERS OFFICE CUP CONTRACTOR SHOP & MIXED USE

ISSUED:

EXPIRES:

APPLICANT: Kerr, Ben
39708 Old Brook rd
Laporte, MN 56461
218-760-7243

OWNER: BENJAMIN KERR
39708 OLD BROOK RD
LAPORTE, MN 56461

Detail Name	Detail Value
Select the type of use permit application from the list:	Conditional Use
Describe the proposed use of your property:	Mixed use and contractor office and storage
Describe the existing use of your property:	previous use was a car detailing shop
Are you aware of any existing Use Permits or Variances for this property?	No
Will the proposal generate increased traffic over existing conditions?	No
Will the proposal require additional parking spaces?	No
How many people will occupy your premises on an average day? Please provide numbers for employees, customers, and residents.	3
Will your proposal increase water usage or sewage generation over the existing use?	No
Will your proposal generate additional waste?	No
Describe your disposal method .	Jons refuse residential trash service
Does your property contain low areas, wetlands, or areas with standing water?	No
Please explain if you intend to drain, fill or otherwise alter this area for any reason (If this does not apply, enter N/A)	N/A
Escrow Payer Name (Who should the check for the escrow funds be made out to when the project is complete?)	Kodiak Builders
Escrow Payer Mailing Address	628 paul bunyan dr se bemidji mn 56601



I hereby certify that I am the owner or authorized agent of the owner of the above described property and that all uses will conform to the provisions of the City of Bemidji Development Code. I further certify that I will comply with all conditions placed upon this permit should this application be approved. Intentional or unintentional falsification of this application or any attachments thereto will serve to make this application and any resultant permit invalid. I certify

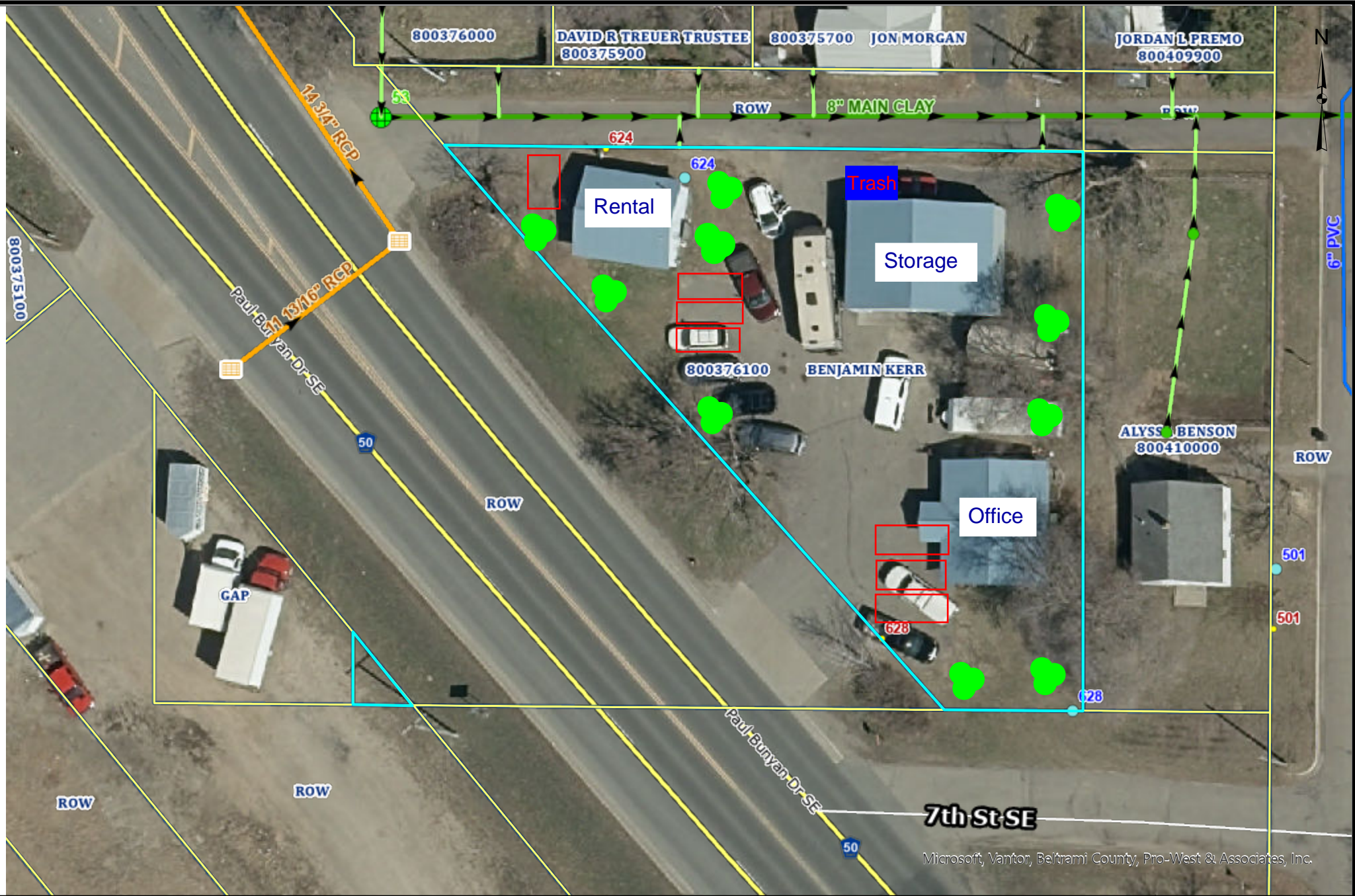
I also authorize City of Bemidji staff to inspect the property during review of this application and subsequent construction during reasonable times of the day. I certify

CONDITIONS

* An escrow account is established to cover technical and legal expenses incurred by the City of Bemidji as part of the plan review. The applicant is responsible for all costs incurred by the City during plan review. If the escrow amount drops below 10% of the original deposit amount the City may require submittal of an additional escrow deposit sufficient to cover any anticipated expenses. Upon determination by the City that the project is complete or expired, the City will return the remaining escrow deposit to the applicant.

* A Conditional Use or Interim Use Permit shall expire and become void if it is not acted upon within twelve (12) months from its date of issuance. A substantial start means more than preliminary steps have been taken such that preparations to initiate the required work are mostly complete. Bemidji Planning may, upon written request of the owner, grant an extension to this deadline not to exceed an additional twelve (12) months.

FEES:	<u>Paid</u>	<u>Due</u>
Planning Escrow Deposit	\$500.00	\$0.00
PLN Special/Conditional/Interim Use Permit	\$500.00	\$0.00
Totals :	\$1,000.00	\$0.00



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Site Plan - 628 & 624 Paul Bunyan Dr SE

1:564	Date: 11/4/2025
This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.	



Bemidji
First City On The Mississippi

Page 14 of 172

Intended use for the property

628 Paul Bunyan Drive Bemidji, MN

Rental House: Long term rental, occupied by 1-2 persons, parking is located in front of house in a space bordered by timbers to prevent driving on grass area. Waste will be deposited in the dumpster for the property.

Storage building: Building used for storage of tools, materials and equipment.

Office: An average of 3 office personnel will be at the location on regular basis. They will park in front of the office building. The parking area will be sealed and striped in the spring of 2026.

Trash Enclosure: Waste will be deposited in the dumpster for the property in an enclosure located behind the storage shed on the alley with gate facing Paul Bunyan Drive to the northwest.



Planning and Zoning Department
City of Bemidji

317 4th Street NW Bemidji, MN 56601 Office (218) 759-3579 Fax (218) 759-3591

November 5, 2025

City of Bemidji – SUP-2025-0011: - Ben Kerr representing Kodiak Builders, LLC requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

The City of Bemidji Planning and Zoning Commission will consider this proposal at its meeting on **Thursday, November 20, 2025**, at **5:30 p.m.** in the Council Chambers at Bemidji City Hall or may be viewed on Local Channel 2.

If you have any comments, you may present them to the Commission at that time. It would be encouraged to direct your comments in writing to the Planning and Zoning Planner assigned to the Case, **Melissa Fahrenbruch's** attention at the Planning office at 317 4th Street NW, or by email to **SGAdmin@ci.bemidji.mn.us**. If possible, your comments should be submitted by **Friday, November 14th, 2025**, so they may be incorporated into our report to the Planning and Zoning Commission. The report, along with any other pertinent information regarding this planning case will be available prior to the meeting on our website ([City of Bemidji/Boards, Commissions, and Committees/Planning Commission](#)) and at city hall. Attached is a copy of the application and other supporting documentation.

If you have any questions or need further information, please feel free to contact our office at 218-759-3579 or email the planner assigned to the case (see email address above). City departments may access through SmartGov application **SUP-2025-0011**.

Respectfully,

Melissa Fahrenbruch
Assistant Planner
City of Bemidji Planning and Zoning Department



Planning & Zoning Department
City of Bemidji

317 4th Street NW Bemidji, MN 56601 Office (218) 759-3579 Fax (218) 759-3591

November 7, 2025

Dear Property Owner:

The City of Bemidji Planning and Zoning Commission will conduct a public hearing to discuss the following application:

SUP-2025-0011: - Ben Kerr representing Kodiak Builders, LLC requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

This public hearing will be held on **Thursday, November 20, 2025, at 5:30 p.m.** The meeting will be held in the Council Chambers of the Bemidji City Hall located at 317 4th Street NW or may be viewed on local Channel 2. You are invited to attend this public hearing, express your opinions on the proposal at the hearing, or if not able to attend, by email (preferred method), letter, or phone call to the Planning and Zoning Department. If possible, your written comments should be submitted by **Friday, November 14, 2025**, so they may be incorporated into our report to the Planning Commission. **Our report, along with any other pertinent information regarding this planning case will be available prior to the meeting on our website ([City of Bemidji/Boards, Commissions, and Committees/Planning Commission](#)) and at city hall.**

If you have any questions, please feel free to contact us at (218) 759-3579, or email comments to **SGAdmin@ci.bemidji.mn.us**

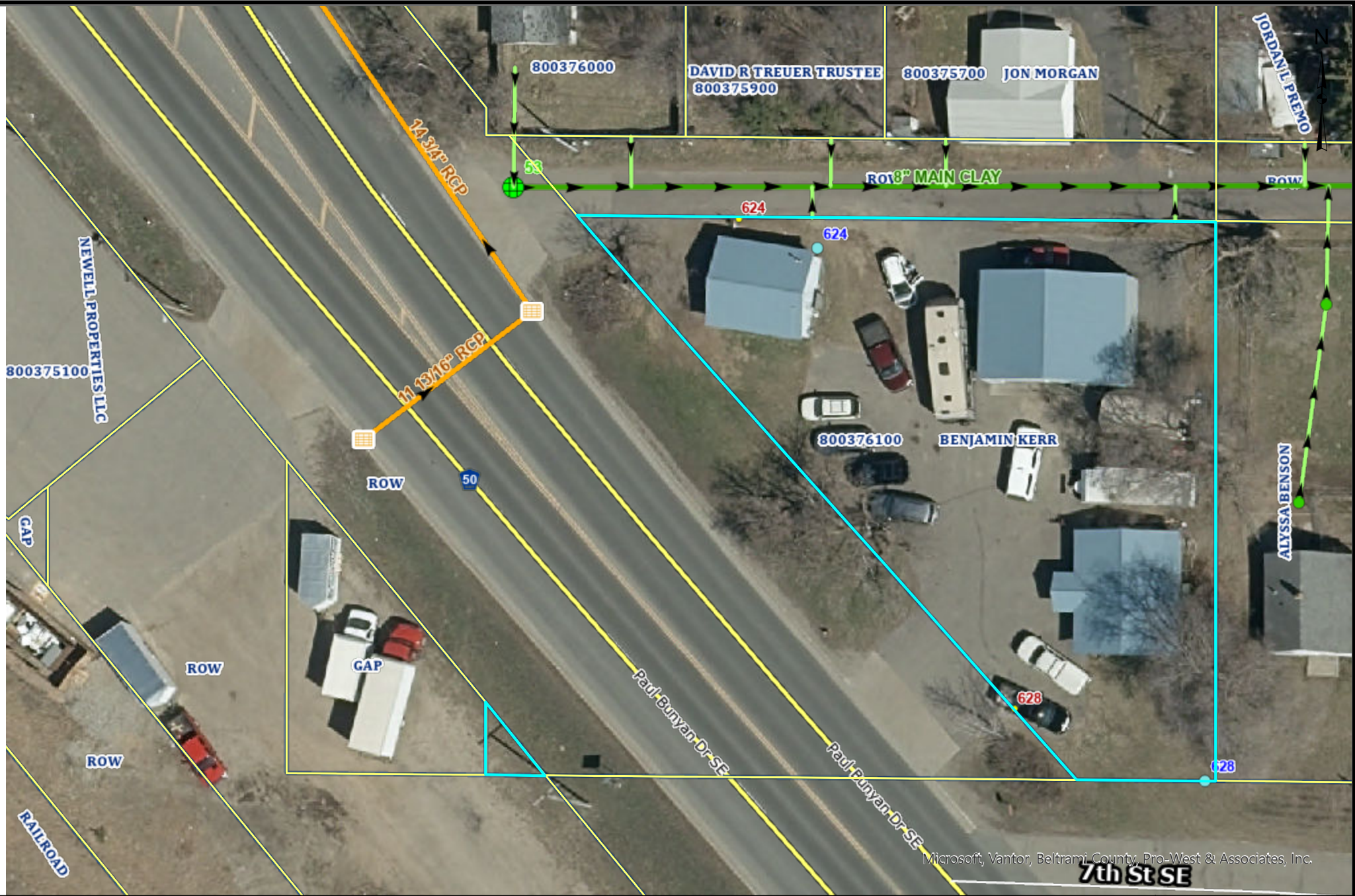
Respectfully,

Planning Staff
City of Bemidji
Planning & Zoning Department

Packet Distribution List

SUP-2025-0011 Kodiak Builders

	<u>Contact</u>	<u>E-MAILED</u>	<u>US Mailed</u>
<input checked="" type="checkbox"/>	Applicant / Representative	11/5/25	_____
<input checked="" type="checkbox"/>	City Building Department	11/5/25	_____
<input type="checkbox"/>	City Attorney	_____	_____
<input checked="" type="checkbox"/>	City Engineer	11/5/25	_____
<input checked="" type="checkbox"/>	City Manager	11/5/25	_____
<input type="checkbox"/>	City Community Development (Vacant)	_____	_____
<input checked="" type="checkbox"/>	City GIS Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Police Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Fire Department	11/5/25	_____
<input type="checkbox"/>	City Parks Department	_____	_____
<input type="checkbox"/>	Beltrami County ESD/SWCD	_____	_____
<input type="checkbox"/>	Beltrami County Recorder	_____	_____
<input type="checkbox"/>	Beltrami County GIS Department	_____	_____
<input type="checkbox"/>	Beltrami County Sheriff	_____	_____
<input checked="" type="checkbox"/>	Beltrami County Engineer / Highway	11/5/25	_____
<input type="checkbox"/>	Beltrami County Natural Resources	_____	_____
<input type="checkbox"/>	MnDNR Trails	_____	_____
<input type="checkbox"/>	MnDNR Waters	_____	_____
<input type="checkbox"/>	MnDNR District	_____	_____
<input type="checkbox"/>	MnDOT	_____	_____
<input type="checkbox"/>	Airport	_____	_____
<input type="checkbox"/>	Bemidji School District	_____	_____
<input type="checkbox"/>	MPCA Closed Landfill Program	_____	_____
<input type="checkbox"/>	U.S. Army Corps of Engineers	_____	_____
<input type="checkbox"/>	Minnesota Chippewa Tribe	_____	_____
<input type="checkbox"/>	Red Lake Nation DNR	_____	_____
<input type="checkbox"/>	White Earth Nation DNR	_____	_____
<input type="checkbox"/>	Leech Lake Band DRM	_____	_____
<input checked="" type="checkbox"/>	Bemidji Sustainability Commission	11/5/25	_____
<input checked="" type="checkbox"/>	Other: Planning & Zoning Attorney	11/5/25	_____



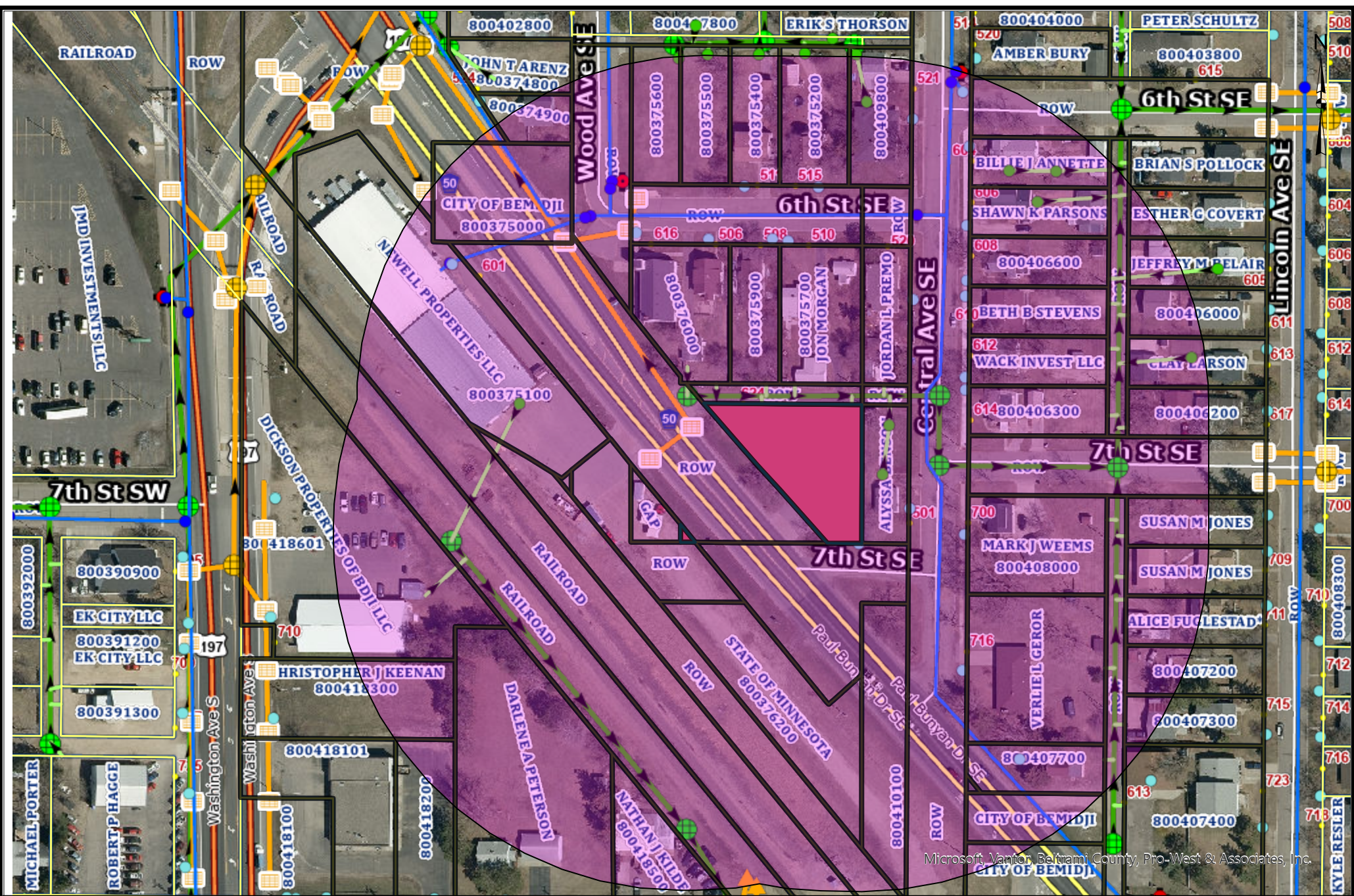
These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

<h1>Aerial Map</h1>	
1:564	Date: 11/4/2025
This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.	



Microsoft, Vantor, Beltrami County, Pro-West & Associates, Inc.

Page 19 of 172

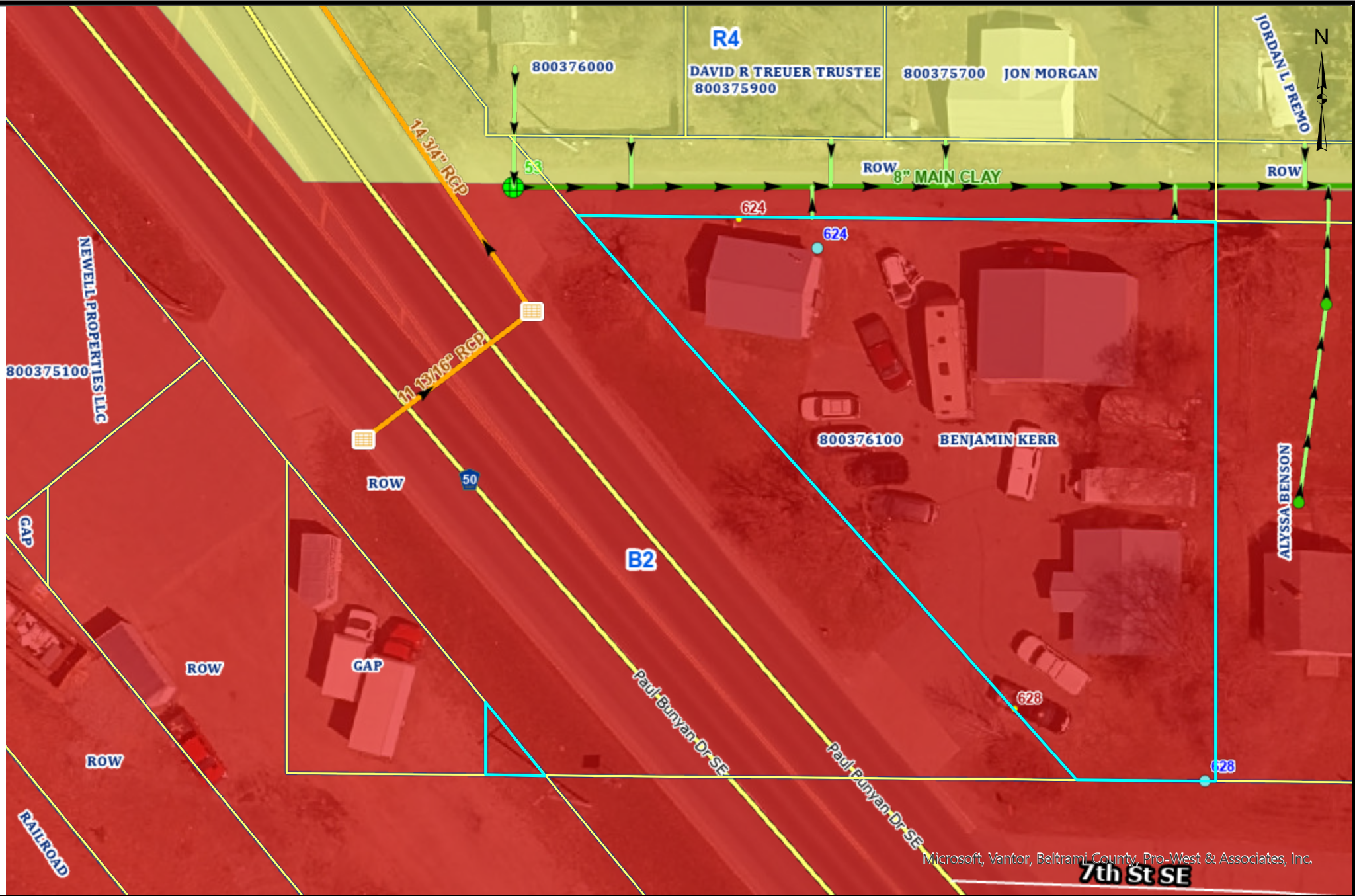


Microsoft, Vantor, Beltrami County, Pro-West & Associates, Inc.

These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

<h2>Buffer Map</h2>	
1:2,257	Date: 11/4/2025
<small>This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.</small>	





These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

<h2>Zoning Map</h2>	
1:564	Date: 11/4/2025
This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.	



Bemidji
First City On The Mississippi

Page 21 of 172

NATHAN J KILDE
427 ROOSEVELT RD SE
BEMIDJI, MN 56601

TINY OWL HOMES LLC
263 CRANE LAKE VW NW
BEMIDJI, MN 56601

MN DEPT OF TRANSPORTATION
395 JOHN IRELAND BLVD
ST PAUL, MN 55155

CHRISTOPHER B HAMILTON
47761 COUNTY ROAD 3
BECIDA, MN 56678

KRISTOPHER J SEITZ
HEIDI L SEITZ
715 LINCOLN AVE SE
BEMIDJI, MN 56601

STATE OF MINNESOTA
500 LAFAYETTE RD
ST PAUL, MN 55155

CITY OF BEMIDJI
317 4TH ST NW
BEMIDJI, MN 56601

ALYSSA BENSON
501 7TH ST SE
BEMIDJI, MN 56601

CHRISTOPHER J KEENAN
KELLY KEENAN
51358 WILDVIEW LN
BEMIDJI, MN 56601

MICHAEL PAUL MAGNAN
14762 TOM JEFFERSON DR NW
SOLWAY, MN 56678

HOUSING & REDEVELOPMENT
AUTHORITY OF BEMIDJI
619 AMERICA AVE NW
BEMIDJI, MN 56601

CLAY LARSON
613 LINCOLN AVE SE
BEMIDJI, MN 56601

MARK J WEEMS
LAURIE A WEEMS
PO BOX 804
BEMIDJI, MN 56619

ALICE FUGLESTAD*
711 LINCOLN AVE SE
BEMIDJI, MN 56601

JTW PROPERTY PARTNERSHIP LLP
2095 23RD ST SE
BEMIDJI, MN 56601

BILLIE J ANNETTE
604 CENTRAL AVE SE
BEMIDJI, MN 56619

DAVID R TREUER TRUSTEE
DAVID R TREUER RVC TRUST
1666 ALBANY CT
CLAREMONT, CA 91711

NEW LIFE WORSHIP CENTER
616 WOOD AVE SE
BEMIDJI, MN 56601

SUSAN M JONES
709 LINCOLN AVE SE
BEMIDJI, MN 56601

CHRISTOPHER GLENN SKIME
521 6TH ST SE
BEMIDJI, MN 56601

MARGARET L MOSTAD
617 LINCOLN AVE SE
BEMIDJI, MN 56601

JOHN T ARENZ
49389 323RD AVE
CASS LAKE, MN 56633

DOUGLAS L UNDERTHUN
MARTA J UNDERTHUN
312 29TH ST NW
BEMIDJI, MN 56601

DICKSON PROPERTIES OF BDCI LLC
3726 BIRCHMONT DR NE
BEMIDJI, MN 56601

JON MORGAN
510 6TH ST SE
BEMIDJI, MN 56601

BRIAN S POLLOCK
VALERIE L POLLOCK
601 LINCOLN AVE SE
BEMIDJI, MN 56601

NEW LIFE UNTD PENTECOST CHURCH
506 6TH ST SE
BEMIDJI, MN 56601

WACK INVEST LLC
507 JEFFERSON AVE NW TRLR 66
BEMIDJI, MN 56601

NEWELL PROPERTIES LLC
3481 LAUREL DR NW # 6
BEMIDJI, MN 56601

UP NORTH REALTY LLC
2815 BEMIDJI AVE N
BEMIDJI, MN 56601

VERLIE L GEROR
716 CENTRAL AVE SE
BEMIDJI, MN 56601

ESTHER G COVERT
1407 IRVINE AVE NW
BEMIDJI, MN 56601

BETH B STEVENS
610 CENTRAL AVE SE
BEMIDJI, MN 56601

JORDAN L PREMO
520 6TH ST SE
BEMIDJI, MN 56601

SHAWN K PARSONS
606 CENTRAL AVE SE
BEMIDJI, MN 56601

DARLENE A PETERSON
423 ROOSEVELT RD SE
BEMIDJI, MN 56601

JEFFREY M BELAIR
605 LINCOLN AVE SE
BEMIDJI, MN 56601

AMBER BURY
520 CENTRAL AVE SE
BEMIDJI, MN 56601

BENJAMIN KERR
39708 OLD BROOK RD
LAPORTE, MN 56461



AFFIDAVIT OF PUBLICATION

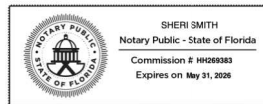
State of Florida, County of Broward, ss:

Anjana Bhadoriya, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of the The Bemidji Pioneer, a newspaper printed and published in the City of Bemidji, County of Beltrami, State of Minnesota.

1. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.
2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.
3. The dates of the month and the year and the day of the week upon which the public notice attached/copied below was published in the newspaper are as follows: Saturday, November 8, 2025
4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to §331A.06, is as follows: \$13.00 per column inch.
5. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in BELTRAMI County. The newspaper complies with conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

Anjana Bhadoriya

(Signed) _____



VERIFICATION

State of Florida
County of Broward

Subscribed in my presence and sworn to before me on this: 11/10/2025

S. Smith

Notary Public
Notarized remotely online using communication technology via Proof.

CITY OF BEMIDJI PLANNING AND ZONING COMMISSION

NOTICE OF PUBLIC HEARINGS & MEETINGS

NOTICE IS HEREBY GIVEN that on Thursday, November 20, 2025, at 5:30 PM or as soon thereafter as possible, the City of Bemidji Planning and Zoning Commission will conduct a Public Hearing in-person in the Council Chambers of Bemidji City Hall, located at 317 4th St. NW, Bemidji MN, and broadcasted on Channel 2, regarding the following request(s):

Conditional Use Permit Request: Ben Kerr representing Kodiak Builders, LLC requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

Conditional Use Permit Request: Greg Johnson representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 29 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 80008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

Interim Use Permit Request: Julie Canty representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 800420400) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay and Cannabis (Day Care Center) overlay.

Rezzone and Conditional Use Permit Request: Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezzone) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

Ordinance Text Amendment – City of Bemidji is requesting to amend the text of Chapter 28 of the Bemidji City Code Entitled "Development Code", Specifically amending Article X Performance Standards, Section 28-429 Cannabis Zoning and Land Use.

All interested parties are invited to attend the public hearing(s) and comment on the proposal(s). If you are unable to attend in person, comments can be submitted by email to SCAdmin@ci.bemidji.mn.us (preferred method), letter, or phone call to the Planning and Zoning Department. Call 218-759-3579 or visit our website at www.ci.bemidji.mn.us

for more information. If possible, your written comments should be submitted by **Friday, November 14, 2025**, so they may be incorporated into the staff report to the Planning Commission.
(Nov. 8, 2025)



CITY OF BEMIDJI PLANNING AND ZONING COMMISSION

NOTICE OF PUBLIC HEARINGS & MEETINGS

NOTICE IS HEREBY GIVEN that on Thursday, December 18, 2025, at 5:30 PM or as soon thereafter as possible, the City of Bemidji Planning and Zoning Commission will conduct a Public Hearing in-person in the Council Chambers of Bemidji City Hall, located at 317 4th St. NW, Bemidji, MN, and broadcasted on Channel 2, regarding the following request(s):

Conditional Use Permit Request: Ben Kerr representing Kodiak Builders, LLC requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

Conditional Use Permit Request: Greg Johnson representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 29 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 800008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

Interim Use Permit Request: Julie Canby representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 800420400) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay and Cannabis (Day Care Center) overlay.

Rezoning and Conditional Use Permit Request: Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezoning) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

Ordinance Text Amendment - City of Bemidji is requesting to amend the text of Chapter 28 of the Bemidji City Code Entitled "Development Code". Specifically amending Article X Performance Standards, Section 28-429 Cannabis Zoning and Land Use.

All interested parties are invited to attend the public hearing(s) and comment on the proposal(s). If you are unable to attend in person, comments can be submitted by email to SGAdmin@ci.bemidji.mn.us (preferred method), letter, or phone call to the Planning and Zoning Department. Call 218-759-3579 or visit our website at www.ci.bemidji.mn.us

AFFIDAVIT OF PUBLICATION

State of Florida, County of Orange, ss:

Edmar Corachia, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of the The Bemidji Pioneer, a newspaper printed and published in the City of Bemidji, County of Beltrami, State of Minnesota.

- 1. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.
2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.
3. The dates of the month and the year and the day of the week upon which the public notice attached/copied below was published in the newspaper are as follows: Saturday, December 6, 2025
4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to §331A.06, is as follows: \$13.00 per column inch.
5. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in BELTRAMI County. The newspaper complies with conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

Edmar Corachia

(Signed) _____

VERIFICATION

State of Florida
County of Orange

Subscribed in my presence and sworn to before me on this: 12/08/2025

[Signature]

Notary Public
Notarized remotely online using communication technology via Proof.

Notary Public seal for Pamela Baez, State of Florida, Commission # HH 732409, Expires on October 19, 2029.

for more information. If possible, your written comments should be submitted by **Friday, December 12, 2025**, so they may be incorporated into the staff report to the Planning Commission.
(Dec. 6, 2025)

THE CITY OF BEMIDJI PLANNING BOARD

PLANNING CASE: SUP-2025-0012	PC MEETING DATE: November 20 th , 2025 Postponed to December 18, 2025
APPLICANT: Tamarack Woods Apartments represented by Greg Johnson	60-DAY RULE DATE: December 29 th , 2025 60 Day Rule Extension Date: February 28 th , 2026
PROCEEDING: Conditional Use Permits for 30 Units or Greater & Removal of More Than 40% of High-Quality Significant Trees	ZONING DISTRICT: (R-6) Multiple-Family
PREPARED BY: Jamin Carlson Planning Director	EXHIBITS: Zoning Map, Aerial Map, Application, Site Plan, Supporting Documentation

PLANNING REPORT

SUMMARY OF REQUEST

SUP-2025-0012: - Greg Johnson (Applicant) representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 30 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 800008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

BACKGROUND

City staff met on multiple occasions to discuss apartment building redevelopment at the Red Pine Estates location. Additional topics of discussion were density, impervious surface, parking, height, greenspace, timelines, demolition of current building, and processes. The Applicants also discussed the locations and orientation of buildings which were planned to be a four-story 50-unit senior housing structure along with a four-story 36-unit multi-family structure. The existing apartment building is slated to be demolished and the existing six-plex townhomes will be continued to be occupied by the current residents to the south and east during construction of the new buildings. The developers also are looking at potentially dividing the lot between the east and west sections (shown on plans). Red Pine Estates existed before the current Ordinance and thus was considered a legal non-conforming use as it did not change or intensify until the proposed redevelopment, therefore, now requiring a CUP.

DEVELOPMENT SUMMARY

SITE DEVELOPMENT	PROPOSED	REQUIRED/ALLOWED
Section 28-122 Lot Size	253,516 sq. ft.	18,000 sq. ft. (R-6)
Section 28-122 Lot Size (Project Area of Lot)	110,913 sq. ft.	18,000 sq. ft. (R-6)
Section 28-122 Lot Width	264 ft.	60 ft. (R-6)
Section 28-122 Impervious Surface	67%	Max 70% (R-6)
Section 28-122 Greenspace	33%	Min 30% (R-6)
Section 28-409 Interior Greenspace	5,214 sq. ft.	2,303 sq. ft.
Section 28-122 Building Height	47.8'	50' (R-6)
Section 28-122 Density	122 Units	18,000 sq. ft. lot (R-6)
Section 28-407 Total Trees	43	37
Section 28-407 Frontage Trees	9	9
Section 28-402 Trash Enclosure	Yes inside	Yes
Section 28-409 Parking Senior	38	38 or Proof of Parking
Section 28-409 Parking Multi-Family	92	92 or Proof of Parking

I. DISCUSSION/DEVELOPMENT ANALYSIS

The current 50-unit building that will be demolished for the new proposed buildings.



II. Planning Considerations

All Conditional Use Permits (CUP) must follow the general requirements including process, criteria, and findings. A conditional use permit is recorded and runs with the land, not with the owner/applicant. A multi-family development with 30 units or greater is an allowed use with an approved CUP.

Existing Conditions

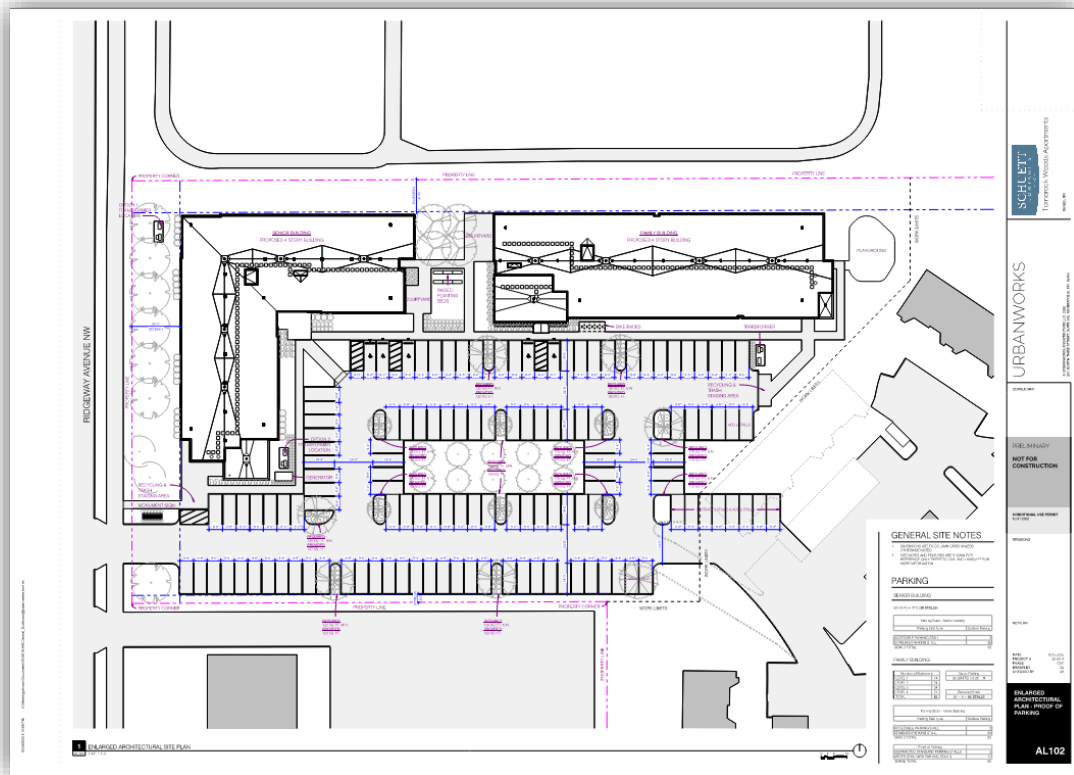
The subject property has six 6-plex townhomes that are currently occupied, and the existing 51-unit building will be demolished. The stormwater retention area will be designed for underground stormwater storage. This lot also has existing high-quality significant trees of the property that will be primarily preserved on the east side of the parcel (townhome location).

Future Plans

The developers will be possibly looking at subdividing the lot to separate the east side from the west side and potentially accessing 26th St. NW on the northeast corner of the lot for the east side of the parcel. They are also looking to demolish the existing townhomes after the new buildings are completed and redevelop the east side of the property at a future time.

Parking & Ingress/Egress

This proposed project meets these requirements, see below plans for details:

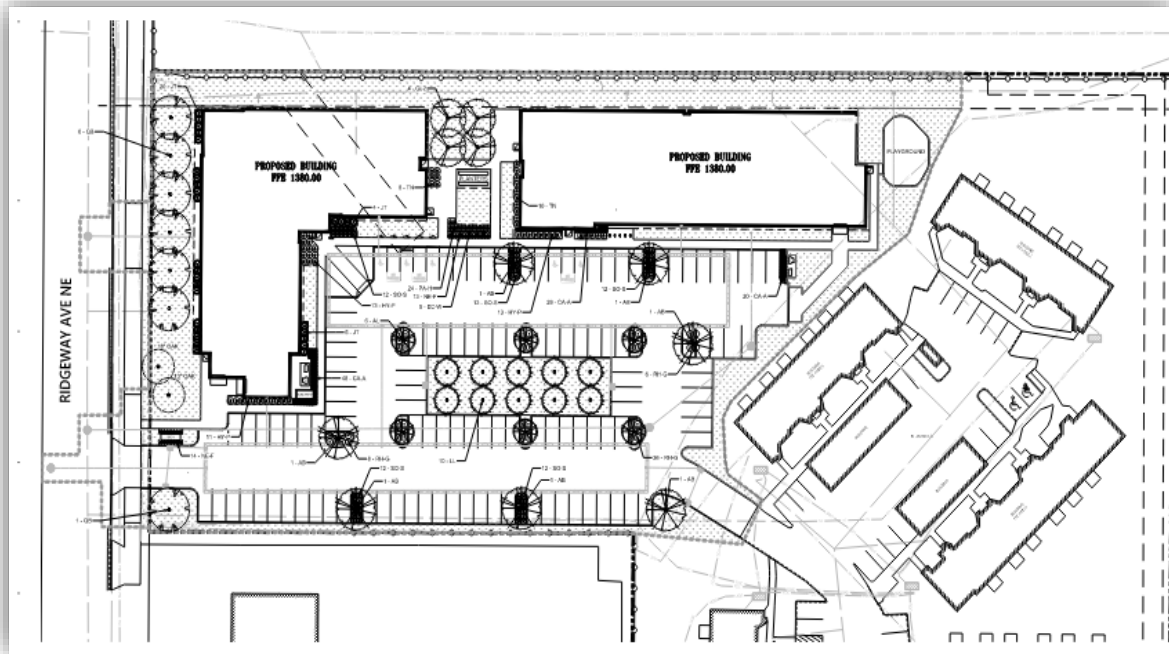


Traffic Study

According to the Traffic Study Guidelines, the number of units (86 proposed + 36 existing = 122 total units) does not warrant a traffic study as the threshold for a study is 150 units or greater.

Landscaping

The Applicant will be planting 34 new trees in the subject area along with 192 shrubs and numerous perennials and grasses. See plans below for locations of proposed trees.

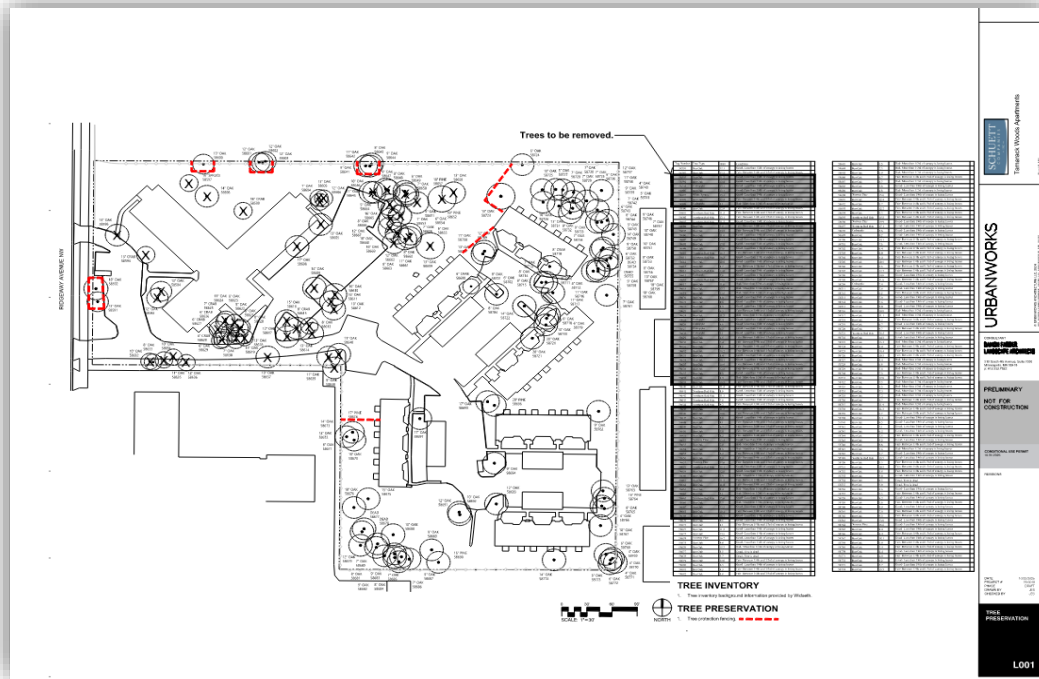


Base Minimum Landscape (BML) Standard –The site plan shows that the proposal will be removing most of the existing trees in the subject area but will be replacing trees based on the BML standard: (2) Multiple Family Dwellings shall preserve existing or plant at least one (1) tree per thirty (30) lineal feet of street frontage between the front property line and the minimum front yard setback line. The development site plan submitted for approval shall provide a landscape plan which provides a minimum total tree count as follows:

- a. < 1 acre = 1 tree per 600s.f. of minimum required pervious site surface.
- b. 1 – 3 acres = 1 tree per 900s.f. of minimum required pervious site surface.
- c. 3 acres = 1 tree per 1,200s.f. of minimum required pervious site surface.

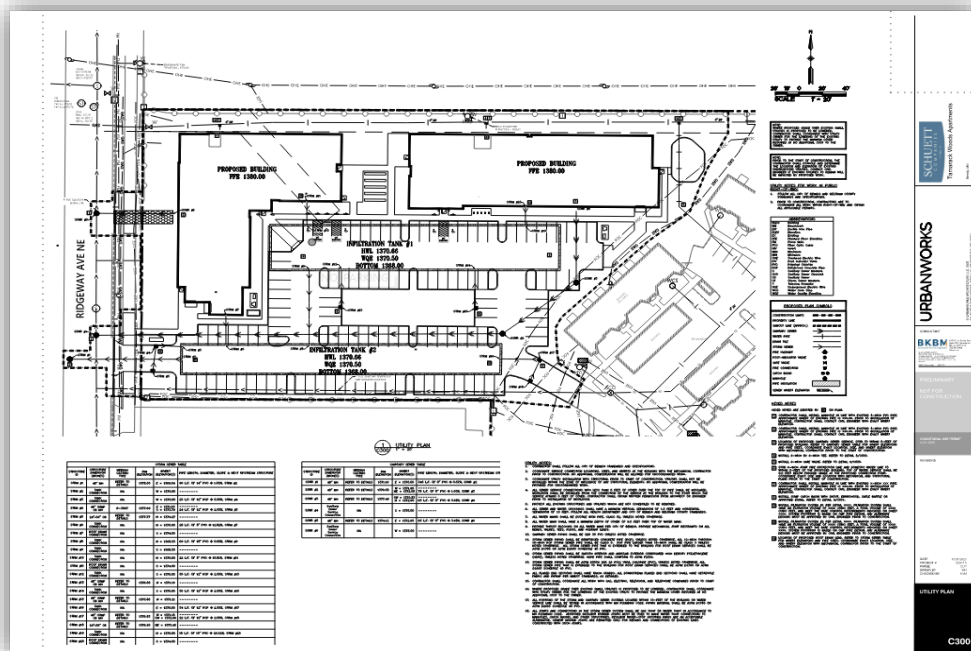
Tree Preservation

The Applicant is requesting to remove most of the high-quality significant (HQS) trees in the project area. They will be preserving 10 HQS and removing 69 HQS. See below plans.



Stormwater

The project area will be utilizing underground stormwater infiltration tanks which will need to meet the guidelines of the surface water management plan and stormwater design guide report. This type of system utilizes impervious surface for stormwater holding areas.



III. COMMENTS

Development Team (Public Works/Engineer)

Good afternoon,

Eliminating the existing 50 units and adding the 2 new buildings proposed to be 86 units doesn't warrant a traffic study using our guidance documents. With no current reported issues with traffic access for the current development, staff don't anticipate issues with increased traffic in this most recent proposal.

Future design drawings involving, but not limited to, grading & drainage, stormwater calculations, site plan, erosion control, site utilities will all be reviewed in further detail as part project approval prior to construction.

Thanks,

Sam Anderson, P.E. | *City Engineer/Director of Public Works* | *City of Bemidji*
218-333-1851 | sam.anderson@ci.bemidji.mn.us

Sustainability Commission

To: Jamin Carlson, Planning Director

From: Bemidji Sustainability Commission

Date: November 14, 2025

Re: SUB-2025-0012 CUP – Tamarack Woods Apartments

The Bemidji Sustainability Commission reviewed the conditional use permit for the Tamarack Woods Apartments and submits the following recommendations for consideration.

The Commission commends the developer on following the Green Communities design standards by designing and building their proposed high density residential facilities to high standards regarding energy efficiency, indoor air quality, and occupant comfort. In addition to meeting these laudable standards, the Commission recommends consideration of on-site electricity generation through roof-top solar photovoltaics (PV) and inclusion of electric vehicle charging infrastructure.

The flat-roofed construction of the proposed facilities lends itself well to incorporation of solar PV arrays. Generating electricity on-site can help ensure the "long-term operational costs that benefit owner, resident, and the community." The Commission encourages the developer to explore funding and tax incentives through utility providers and the state government.

Electric vehicles (EV) operate with greater energy efficiency than traditional internal combustion engine (ICE) vehicles. Greater efficiency translates to cost savings for owners/drivers as well as reduced reliance upon fossil fuels for transportation. Additionally, EV's produce zero tailpipe emissions, which enables cleaner environmental air quality. As the facility will serve primarily as residential units, level 1 (120v) charging infrastructure, akin to what is often provided for a vehicle's block heater, should suffice for most use cases. However, availability of level 2 (240v) fast charging infrastructure will further incentivize and enable tenant adoption and use of electric vehicles. Again, funding and tax incentives through utility providers and state agencies will hopefully support inclusion of EV charging infrastructure.

Thank you for considering this input.

Jordan Lutz

Chair, Bemidji Sustainability Commission

Neighborhood Comment

No comments at the time of writing the report.

Public Notice and Hearing Requirements –

Per the Ordinance: Sec. 28-527:

- A. *In addition to the procedures described in preceding sections of this development code, all conditional use permit requests, variance requests, requests for amendments, and preliminary plat approval shall be reviewed at a public hearing conducted at least ten (10) days following official public notification including publication in the official newspaper of the council and mailed notice to all property owners within the following distances from affected property when such notice is applicable: in the case of variances, conditional use permits and preliminary plats, all property owners within three hundred and fifty (350) feet of the property must be notified; in the case of amendments to official controls which involve changes in district boundaries of five acres or less, all owners of property within three hundred and fifty (350) feet must be notified.*

Planning Commission Packet Process

Planning commission packets are available by the end of day the Monday before the planning commission meeting (the next Thursday) for viewing on the City of Bemidji's website at www.ci.bemidji.mn.us and a hard copy is available for viewing at city hall.

IV. Comprehensive Plan References

Objective 4.3: Promote Land Use Decisions that Protect the Natural Environment through Smart Growth and Sustainable Practices

1. **Promote in-fill development with access to public infrastructure.** *Supporting projects that can use existing public infrastructure as well as increase density and intensification of land use when appropriate can help limit urban sprawl. However, supporting proposals at a density that strain existing public transportation or utilities is not sustainable and can negatively impact the public.*
2. **Support a reduction of off-street parking requirements for appropriate land uses to allow for increased interior green space.** *Maximize the potential for green space with all development or redevelopment of sites, when possible, as well as for reduced heat island effects of increased temperatures within the high-density urban area of parking lots.*

Objective 8.1 Preserve and Enhance the Quality of Housing that is Affordable, Safe, and Energy Efficient

Having affordable and safe housing options available for all residents is imperative to improving quality of life, and for successful community growth. Energy efficient homes can improve affordability for the occupant and reduce the overall carbon footprint of the community.

Objective 8.2 Promote and Encourage Diversity with New Housing Developments

Housing developments that include a diverse amount of housing options can help ensure all residents have housing, diverse housing can and should provide market rate and affordable opportunities.

1. **Promote a variety of housing options based on market and need.** *It is important to support all forms of housing developments and to promote diversity and choice of housing for all residents. Market rate housing or workforce housing should be promoted based on*

market trends, affordable or supportive housing should be promoted based on the needs of the community.

Objective 10.1 Promote Active Living and Healthy Community Initiatives

- 1. Promote programs for populations that need additional services or opportunities to be active.** *It is vital to promote healthy lifestyle choices as a community. Programs that broaden the opportunities for all citizens to engage in healthy lifestyles are encouraged.*

- 2. Encourage activities and programming for alternative and emerging recreational trends.** *Active recreation trends are constantly adapting, and new trends are becoming popular, it is important to adapt and have diverse opportunities for active recreation.*

- 3. Promote high-density residential development near schools and services with access to multimodal transportation opportunities.** *An active, healthy community is best when all members of the community can have the opportunity to live a healthier lifestyle. Neighborhood schools that teach about multimodal transportation, including walking and cycling, at a younger age can create healthy habits. Accessibility to goods and services is important to provide opportunities for active and healthy lifestyles for all residents.*

Zoning Ordinance References

Section: 28-122 Minimum Lot Size Requirements and Bulk Requirements

Section: 28-122 Lot Size and Bulk Regulations by Zoning District

Section: 28-406 Landscaping Requirements

Section: 28-407 Tree Preservation

Section: 28-408 Lighting

Section: 28-409 Parking Standards

Section: 28-524 Conditional Use Permits

Section: 28-527 - Public Notice and Hearing Requirements

CUP CONCLUSIONS & FINDINGS

Conclusions based on the Ordinance and the Comprehensive Plan.

The Planning Commission must decide whether the conditions are sufficient for request of the conditional use permit (CUP) for 30 units or greater and to remove more than 40% of the high-quality significant trees.

The following conditions and findings of fact:

Conditions

1. A landscaping plan meeting Section 28-406 of the Ordinance shall be submitted for final approval to planning staff.
2. All exterior lighting on-site shall comply with Section 28-408 of the Ordinance.
3. All dumpsters on-site shall be fully enclosed complying with Section 28-402 of the Ordinance.
4. A parking plan meeting Section 28-409 of the Ordinance shall be submitted for review and approval.

5. Final building plans will need to be approved by the City of Bemidji Building Department and Bemidji Fire Department, with a building permit obtained prior to construction.
6. Final engineering grading, drainage and utility plans will need to be approved for review by City staff before any construction can commence.
7. A development agreement shall be entered into between the City and the Applicant to ensure all site construction is completed to a satisfactory condition.
8. The CUP shall be reviewed for compliance within one (1) year of approval.
9. The conditional use permit shall expire and become void if the use is not substantially started within twelve (12) months from its date of issuance. A substantial start means more than preliminary steps have been taken such that preparations to initiate the use are mostly complete. The Planning Board may, upon written request of the owner, grant an extension to this deadline not to exceed an additional twelve (12) months.

Findings of Fact

1. Whether the proposed use adversely affects the public safety, health, morals, convenience and general welfare of the occupants of the surrounding land.

The proposed project is not anticipated to adversely affect, nor create an unreasonable level of disruption or increase interference in the surrounding area. The proposal shows that it will not adversely affect the occupants of the surrounding land.

2. Whether the proposed use adversely affects traffic conditions and parking on adjacent streets and land.

Based on the proposed project, the site plans show adequate off-street parking and proper ingress and egress. Multiple-Family residential use for this location is not anticipated to adversely affect traffic or parking conditions as the subject parcel will meet the off-street parking requirements. According to the Ordinance, there is no requirement for a traffic study.

3. Whether the proposed use adversely affects property in the surrounding area.

The proposed use is not anticipated to adversely affect, nor create an unreasonable level of disruption or interference upon the surrounding neighborhood. Based on the submitted site plans, this project should not adversely affect the surrounding properties and area as the developer has made efforts in siting of the structures, and on-site amenities along with height of the buildings to utilize density.

4. Whether the proposed use is in conformance with the community's Comprehensive Plan

The proposed use is consistent with the goals and policies of the Comprehensive Plan as well as the Zoning and Subdivision Ordinance if the property is approved through a CUP for 30 units or greater and this has operated as a multi-family type use as well. The proposed use makes use of multimodal transportation access and meets the objectives for the Comprehensive Plan laid out in this report.

5. Whether adequate utility, drainage and other such necessary facilities have been or can be provided.

The property is served by City services and there are enhanced stormwater treatment areas provided to the property. The proposed site plans show amenities for the proposed housing structures.



Application

SUP-2025-0012

CONDITIONAL OR INTERIM USE PERMIT

SITE ADDRESS: 2590 RIDGEWAY AVE NW BEMIDJI
PRIMARY PARCEL: 800008300
PROJECT NAME: TAMARACK WOODS APARTMENTS

ISSUED:

EXPIRES:

APPLICANT: Johnson, Greg
901 N. 3rd St.
Minneapolis, MN 55401
6124553112

OWNER: RED PINE ESTATES
2516 RIDGEWAY AVE NW
BEMIDJI, MN 56601

ESCROW PAYER: Witherspoon, Alicia
9000 Golden Valley Road
Golden Valley, MN 55427
7635419199

OTHER: Symynkywicz, Jesse
401 2nd Ave. N.
Minneapolis, MN 55401
612-332-7522

OTHER: Matte, Keith
6120 Earle Brown Dr., Ste. 700
Minneapolis, MN 55430
763-843-0446

Detail Name	Detail Value
Select the type of use permit application from the list:	Conditional Use
Describe the proposed use of your property:	Family and Senior Housing
Describe the existing use of your property:	Housing
Are you aware of any existing Use Permits or Variances for this property?	No
Will the proposal generate increased traffic over existing conditions?	No
If yes, an increase amount of traffic, please explain.	N/A
Will the proposal require additional parking spaces?	No
How many people will occupy your premises on an average day? Please provide numbers for employees, customers, and residents.	208
Will your proposal increase water usage or sewage generation over the existing use?	No
If yes, increase in water usage or sewage generation please provide, how many gallon per day.	N/A
Will your proposal generate additional waste?	No
Describe your disposal method .	Waste Management Truck
Does your property contain low areas, wetlands, or areas with standing water?	No
Please explain if you intend to drain, fill or otherwise alter this area for any reason (If this does not apply, enter N/A)	N/A



Escrow Payer Name (Who should the check for the escrow funds be made out to when the project is complete?) Alicia Witherspoon

Escrow Payer Mailing Address 9000 Golden Valley Rd., Golden Valley, MN 55427

I hereby certify that I am the owner or authorized agent of the owner of the above described property and that all uses will conform to the provisions of the City of Bemidji Development Code. I further certify that I will comply with all conditions placed upon this permit should this application be approved. Intentional or unintentional falsification of this application or any attachments thereto will serve to make this application and any resultant permit invalid. I certify

I also authorize City of Bemidji staff to inspect the property during review of this application and subsequent construction during reasonable times of the day. I certify

CONDITIONS

* An escrow account is established to cover technical and legal expenses incurred by the City of Bemidji as part of the plan review. The applicant is responsible for all costs incurred by the City during plan review. If the escrow amount drops below 10% of the original deposit amount the City may require submittal of an additional escrow deposit sufficient to cover any anticipated expenses. Upon determination by the City that the project is complete or expired, the City will return the remaining escrow deposit to the applicant.

* A Conditional Use or Interim Use Permit shall expire and become void if it is not acted upon within twelve (12) months from its date of issuance. A substantial start means more than preliminary steps have been taken such that preparations to initiate the required work are mostly complete. Bemidji Planning may, upon written request of the owner, grant an extension to this deadline not to exceed an additional twelve (12) months.

FEES:	<u>Paid</u>	<u>Due</u>
PLN Special/Conditional/Interim Use Permit	\$500.00	\$0.00
Planning Escrow Deposit	\$500.00	\$0.00
Totals :	\$1,000.00	\$0.00

TAMARACK WOODS APARTMENTS

CONDITIONAL USE PERMIT 10.31.2025

GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. SUBCONTRACTORS SHALL LEAVE THE JOB SITE AND SHALL RETURN THE CONTRACT DOCUMENTS TO FURNISH THEMSELVES WITH THE REQUIREMENTS AND STATE OF THE SCOPE OF THE WORK FOR THE COMMENCEMENT OF WORK. SUBCONTRACTORS SHALL BE REPORTED TO GENERAL CONTRACTOR FOR CLARIFICATION.



URBANWORKS

CONSULTANT

PRELIMINARY
NOT FOR
CONSTRUCTION

CONDITIONAL USE PERMIT
10.31.2025

REVISIONS

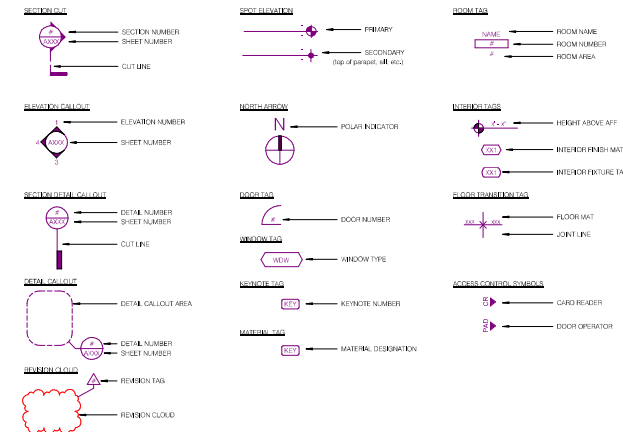
KEYPLAN

DATE: 10/15/2025
PROJECT #: 24018
PHASE: CLIP
DRAWN BY: JDB
CHECKED BY:

TITLE SHEET

G001

SYMBOL INDEX



VICINITY MAP



PARKING STALLS

Parking Stall - Senior Building	
Parking Stall Type	Surface Parking
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	36
GRAND TOTAL	39

Parking Stall - Family Building	
Parking Stall Type	Surface Parking
ACCESSIBLE PARKING STALL	79
STANDARD PARKING STALL	80
GRAND TOTAL	159

BIKE PARKING	
BIKE PARKING	10

AREA SUMMARY

Area Schedule - Senior Building (Gross Building - Area 1)	
Name	Area
SENIOR BUILDING - LEVEL 1 AREA PLAN	14,085 SF
SENIOR BUILDING - LEVEL 2 AREA PLAN	13,984 SF
SENIOR BUILDING - LEVEL 3 AREA PLAN	13,984 SF
SENIOR BUILDING - LEVEL 4 AREA PLAN	13,984 SF
GRAND TOTAL	55,977 SF

Area Schedule - Family Building (Gross Building - Area 2)	
Name	Area
FAMILY BUILDING - LEVEL 1 AREA PLAN	13,198 SF
FAMILY BUILDING - LEVEL 2 AREA PLAN	13,198 SF
FAMILY BUILDING - LEVEL 3 AREA PLAN	13,198 SF
FAMILY BUILDING - LEVEL 4 AREA PLAN	13,198 SF
GRAND TOTAL	52,792 SF

UNIT COUNT

UNIT SCHEDULE - SENIOR BUILDING						
Name	RUSP	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL
STUDIO	26	10	11	10	10	42
1-BEDROOM - ACCESSIBLE	1	1	1	1	1	5
1-BEDROOM	1	1	1	1	1	5
2-BEDROOM - ACCESSIBLE	1	1	1	1	1	5
2-BEDROOM	1	1	1	1	1	5
GRAND TOTAL	34	14	15	13	13	50

UNIT SCHEDULE - FAMILY BUILDING						
Name	RUSP	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL
STUDIO	23	8	8	8	8	32
1-BEDROOM - ACCESSIBLE	1	1	1	1	1	5
1-BEDROOM	1	1	1	1	1	5
2-BEDROOM - ACCESSIBLE	1	1	1	1	1	5
2-BEDROOM	1	1	1	1	1	5
GRAND TOTAL	26	11	11	11	11	50

CONTACTS

CLIENT
NAME: SCHLIET COMPANIES INC.
CONTACT: PETER SCHLIET
ADDRESS: 8000 GOLDEN VALLEY ROAD
GOLDEN VALLEY, MN 55427
PHONE: 651-437-0714
EMAIL: PETER.SCHLIET@SCHLIETCOMPANIES.COM

CONTRACTOR
NAME: NORTH SHORE CONTRACTORS
CONTACT: BRAD FRESZ
ADDRESS: 233 LAKE STREET EAST, SUITE 200
WAYZATA, MN 55391
PHONE NO.: 656-281-4020
EMAIL: BRAD.FRESZ@NORTHSHORECONTRACTORS.COM

ARCHITECT
NAME: URBANWORKS ARCHITECTURE LLC
CONTACT: SCOTT BECKMAN
ADDRESS: 901 N 3RD ST, SUITE 140
MINNEAPOLIS, MN
PHONE NO.: 612-455-3700
EMAIL: SCOTT@URBANWORKS.COM

UTIL ENGINEER
NAME: BISHA ENGINEERS
CONTACT: KATH WATTE
ADDRESS: 6139 EARLE BROWN DRIVE, SUITE 700
MINNEAPOLIS, MN 55430
PHONE NO.: 763-424-0440
EMAIL: KWATTE@BISHA.COM

LANDSCAPE ARCHITECT
NAME: SHAW DESIGN GROUP
CONTACT: JESSE SPANNYKAYCZ
ADDRESS: 401 2ND AVENUE NORTH
MINNEAPOLIS, MN 55401
PHONE NO.: 612-270-7252
EMAIL: SPANNYKAYCZ@SHAWDESIGNGROUP.COM

STRUCTURAL ENGINEER
NAME: BISHA ENGINEERS
CONTACT: JOHN TRIM
ADDRESS: 6120 EARLE BROWN DRIVE, SUITE 700
MINNEAPOLIS, MN 55430
PHONE NO.: 763-424-0440
EMAIL: JTRIM@BISHA.COM

MECHANICAL ENGINEER
NAME: CCHARRITY ENGINEERS
CONTACT: CONTACT NAME No. 1
CONTACT: CONTACT NAME No. 2
ADDRESS: ADDRESS LINE 1
ADDRESS LINE 1
PHONE NO.: PHONE NUMBER
EMAIL: EMAIL No. 1
EMAIL: EMAIL No. 2

DESIGN/BUILD ELECTRICAL ENGINEER
NAME: CCHARRITY ENGINEERS
CONTACT: CONTACT NAME No. 1
CONTACT: CONTACT NAME No. 2
ADDRESS: ADDRESS LINE 1
ADDRESS LINE 1
PHONE NO.: PHONE NUMBER
EMAIL: EMAIL No. 1
EMAIL: EMAIL No. 2

DESIGN/BUILD ELECTRICAL ENGINEER
NAME: CCHARRITY ENGINEERS
CONTACT: CONTACT NAME No. 1
CONTACT: CONTACT NAME No. 2
ADDRESS: ADDRESS LINE 1
ADDRESS LINE 1
PHONE NO.: PHONE NUMBER
EMAIL: EMAIL No. 1
EMAIL: EMAIL No. 2

INTERIOR DESIGNER
NAME: BISHA ENGINEERS ARCHITECTURE LLC
CONTACT: SARAH OGDEN
ADDRESS: 901 N 3RD ST, SUITE 140
MINNEAPOLIS, MN
PHONE NO.: 612-455-3700
EMAIL: SARAH@URBANWORKS.COM
AEMAIL@URBANWORKS.COM

SHEET INDEX

CONSTRUCTION DOCUMENTS - 10/31/2025	
DESIGN DEVELOPMENT - 10/31/2025	
SCHEMATIC DESIGN - 08/12/2025	
ARCHITECTURE / CIVIL / LANDSCAPE	
0001	TITLE SHEET
0002	SHEET INDEX
0003	BUILDING SYSTEMS
SURVEY	
AR001	LIFE SAFETY SUMMARY
AR002	LIFE SAFETY SUMMARY & ENERGY CODE
LIFE SAFETY REFERENCE PLAN - LEVEL 1 - SENIOR BUILDING	
AR101.1	LIFE SAFETY REFERENCE PLAN - LEVEL 2 - SENIOR BUILDING
AR102.1	LIFE SAFETY REFERENCE PLAN - LEVEL 3 - SENIOR BUILDING
AR103.1	LIFE SAFETY REFERENCE PLAN - LEVEL 4 - SENIOR BUILDING
AR104.1	LIFE SAFETY REFERENCE PLAN - LEVEL 1 - FAMILY BUILDING
AR101.2	LIFE SAFETY REFERENCE PLAN - LEVEL 2 - FAMILY BUILDING
AR102.2	LIFE SAFETY REFERENCE PLAN - LEVEL 3 - FAMILY BUILDING
AR103.2	LIFE SAFETY REFERENCE PLAN - LEVEL 4 - FAMILY BUILDING
LIFE SAFETY ACCESSIBILITY INFORMATION	
AR200	CODE REQUIRED SIGNAGE
AR201	CODE REQUIRED SIGNAGE
SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN	
C100	GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C200	UTILITY PLAN
C300	PAVING AND GEOMETRIC PLAN
C400	TURNING MOVEMENTS
C401	CIVIL DETAILS
C500	CIVIL DETAILS
C501	CIVIL DETAILS
C502	CIVIL DETAILS
C600	STORM WATER POLLUTION PREVENTION PLAN - EXISTING
C601	STORM WATER POLLUTION PREVENTION PLAN - PROPOSED
TREE INVENTORY	
L000	TREE PRESERVATION PLAN
L100	LANDSCAPE PLAN
L500	LANDSCAPE DETAILS
OVERALL ARCHITECTURAL SITE PLAN	
AL100	ENLARGED ARCHITECTURAL PLAN
AL101	ENLARGED ARCHITECTURAL PLAN - PROOF OF PARKING
AL102	ENLARGED ARCHITECTURAL PLAN - PROOF OF PARKING
LEVEL 1 PLAN - OVERALL	
A101.0	LEVEL 2 PLAN - OVERALL
A102.0	LEVEL 3 PLAN - OVERALL
A103.0	LEVEL 4 PLAN - OVERALL
A104.0	LEVEL 4 PLAN - OVERALL
LEVEL 1 PLAN - SENIOR BUILDING - AREA 1	
A101.1	LEVEL 1 PLAN - FAMILY BUILDING - AREA 2
A102.1	LEVEL 2 PLAN - SENIOR BUILDING - AREA 1
A102.2	LEVEL 2 PLAN - FAMILY BUILDING - AREA 2
A103.1	LEVEL 3 PLAN - SENIOR BUILDING - AREA 1
A103.2	LEVEL 3 PLAN - FAMILY BUILDING - AREA 2
A104.1	LEVEL 4 PLAN - SENIOR BUILDING - AREA 1
A104.2	LEVEL 4 PLAN - FAMILY BUILDING - AREA 2
ENLARGED COMMON AREA PLANS	
A121	ENLARGED COMMON AREA PLANS
A122	ENLARGED COMMON AREA PLANS
A123	ENLARGED COMMON AREA PLANS
A151	ENLARGED UNIT PLANS - SENIOR BUILDING
A152	ENLARGED UNIT PLANS - SENIOR BUILDING
A153	ENLARGED UNIT PLANS - FAMILY BUILDING
A154	ENLARGED UNIT PLANS - FAMILY BUILDING
A161	ENLARGED UNIT ELEVATIONS - SENIOR BUILDING
A162	ENLARGED UNIT ELEVATIONS - FAMILY BUILDING
A170	UNIT INTERIOR SCHEDULES, FINISH PLANS & ELEVATIONS - FAMILY
A171	UNIT INTERIOR SCHEDULES, FINISH PLANS & ELEVATIONS - SENIOR
A181.1	LEVEL 1 SLAB PLAN - SENIOR BUILDING - AREA 1
A181.2	LEVEL 1 SLAB PLAN - FAMILY BUILDING - AREA 2
ROOF PLAN - AREA 1	
A201.1	ROOF PLAN - AREA 2
A201.2	ROOF PLAN - AREA 2
BUILDING ELEVATIONS - SENIOR BUILDING - AREA 1	
A301	BUILDING ELEVATIONS - SENIOR BUILDING - AREA 1
A302	BUILDING ELEVATIONS - SENIOR BUILDING - AREA 1
A303	BUILDING ELEVATIONS - FAMILY BUILDING - AREA 2
A351	BUILDING AXONOMETRIC VIEW
A352	BUILDING AXONOMETRIC VIEW
BUILDING SECTIONS	
A401	BUILDING SECTIONS
A402	BUILDING SECTIONS
A451	WALL SECTIONS
A452	WALL SECTIONS
A453	WALL SECTIONS
A454	WALL SECTIONS
A455	WALL SECTIONS
A456	WALL SECTIONS
A460	AIR SEALING DIAGRAMS

CONSTRUCTION DOCUMENTS - 10/31/2025	
DESIGN DEVELOPMENT - 10/31/2025	
SCHEMATIC DESIGN - 08/12/2025	
ARCHITECTURAL, CONT.	
A501	AREA 1 - STAIR 'A' - VERTICAL CIRCULATION
A502	AREA 1 - STAIR 'B' - VERTICAL CIRCULATION
A503	AREA 1 - ELEVATOR - VERTICAL CIRCULATION
A504	AREA 1 - TRASH CHUTE
A505	AREA 2 - STAIR 'A' - VERTICAL CIRCULATION
A506	AREA 2 - STAIR 'B' - VERTICAL CIRCULATION
A507	AREA 2 - ELEVATOR - VERTICAL CIRCULATION
A508	AREA 2 - TRASH CHUTE
DOOR SCHEDULE - SENIOR BUILDING - AREA 1	
A601	DOOR SCHEDULES - FAMILY BUILDING - AREA 2
A602	DOOR FRAMES, WINDOW, DOOR, & STOREFRONT ELVES
A603	WINDOW & EXTERIOR DOOR DETAILS
A691	EXTERIOR STOREFRONT DETAILS
A692	MAGIC-PAK LOUVER AND HOOD DETAILS
A693	KD, SF & FRESHING INTERIOR HEAD, JAMB, AND BILL DETAILS
A694	
A701.1	LEVEL 1 FINISH PLAN - SENIOR BUILDING - AREA 1
A701.2	LEVEL 1 FINISH PLAN - FAMILY BUILDING - AREA 2
A702.1	LEVEL 2 FINISH PLAN - SENIOR BUILDING - AREA 1
A702.2	LEVEL 2 FINISH PLAN - FAMILY BUILDING - AREA 2
A703.1	LEVEL 3 FINISH PLAN - SENIOR BUILDING - AREA 1
A703.2	LEVEL 3 FINISH PLAN - FAMILY BUILDING - AREA 2
A704.1	LEVEL 4 FINISH PLAN - SENIOR BUILDING - AREA 1
A704.2	LEVEL 4 FINISH PLAN - FAMILY BUILDING - AREA 2
A721	ENLARGED COMMON AREA FINISH PLANS
A722	ENLARGED COMMON AREA FINISH PLANS
A723	ENLARGED COMMON AREA FINISH PLANS
A724	ENLARGED COMMON AREA FURNITURE PLANS
A732	ENLARGED COMMON AREA FURNITURE PLANS
A733	ENLARGED COMMON AREA FURNITURE PLANS
A750	INTERIOR RENDERINGS - FOR REFERENCE ONLY - SENIOR
A770	INTERIOR COMMON AREA ELEVATIONS - SENIOR
A771	INTERIOR COMMON AREA ELEVATIONS - SENIOR
A772	INTERIOR COMMON AREA ELEVATIONS - FAMILY
A773	INTERIOR COMMON AREA ELEVATIONS - FAMILY
A790	INTERIOR FINISH AND FIXTURE SCHEDULES - SENIOR
A791	INTERIOR FINISH AND FIXTURE SCHEDULES - FAMILY
LEVEL 1 REFLECTED CEILING PLAN - SENIOR BUILDING - AREA 1	
A801.1	LEVEL 1 REFLECTED CEILING PLAN - FAMILY BUILDING - AREA 2
A802.1	LEVEL 2 REFLECTED CEILING PLAN - SENIOR BUILDING - AREA 1
A802.2	LEVEL 2 REFLECTED CEILING PLAN - FAMILY BUILDING - AREA 2
A803.1	LEVEL 3 REFLECTED CEILING PLAN - SENIOR BUILDING - AREA 1
A803.2	LEVEL 3 REFLECTED CEILING PLAN - FAMILY BUILDING - AREA 2
A804.1	LEVEL 4 REFLECTED CEILING PLAN - SENIOR BUILDING - AREA 1
A804.2	LEVEL 4 REFLECTED CEILING PLAN - FAMILY BUILDING - AREA 2
A821	ENLARGED COMMON AREA REFLECTED CEILING PLAN
A822	ENLARGED COMMON AREA REFLECTED CEILING PLAN
A823	ENLARGED COMMON AREA REFLECTED CEILING PLAN
A866	DECORATIVE LIGHTING FIXTURE SCHEDULES
MISCELLANEOUS DETAILS	
A901	MISCELLANEOUS DETAILS

CONSTRUCTION DOCUMENTS - 10/31/2025	
SITE PLAN PERMIT APPLICATION - 10/31/2025	
SCHEMATIC DESIGN - 08/12/2025	
STRUCTURAL	
STRUCTURAL TITLE SHEET	
S101.1	LEVEL 1 FOUNDATION PLAN - SENIOR BUILDING - AREA 1
S101.2	LEVEL 1 FOUNDATION PLAN - FAMILY BUILDING - AREA 2
S102.1	LEVEL 2 FRAMING PLAN - SENIOR BUILDING - AREA 1
S102.2	LEVEL 2 FRAMING PLAN - FAMILY BUILDING - AREA 2
S103.1	LEVEL 3 FRAMING PLAN - SENIOR BUILDING - AREA 1
S103.2	LEVEL 3 FRAMING PLAN - FAMILY BUILDING - AREA 2
S104.1	LEVEL 4 FRAMING PLAN - SENIOR BUILDING - AREA 1
S104.2	LEVEL 4 FRAMING PLAN - FAMILY BUILDING - AREA 2
S105.1	ROOF FRAMING PLAN - SENIOR BUILDING - AREA 1
S105.2	ROOF FRAMING PLAN - SENIOR BUILDING - AREA 1
S300	SECTION DETAILS
S320	SECTION DETAILS
S321	SECTION DETAILS
S330	SECTION DETAILS
S340	SCHEDULES AND DETAILS
S410	SCHEDULES AND DETAILS
S411	SCHEDULES AND DETAILS

CONSTRUCTION DOCUMENTS - 10/31/2025	
SITE PLAN PERMIT APPLICATION - 10/31/2025	
SCHEMATIC DESIGN - 08/12/2025	
MECHANICAL / PLUMBING - DESIGN-BUILD CONTRACT	

CONSTRUCTION DOCUMENTS - 10/31/2025	
SITE PLAN PERMIT APPLICATION - 10/31/2025	
SCHEMATIC DESIGN - 08/12/2025	
ELECTRICAL - DESIGN-BUILD CONTRACT	



CONSULTANT

PRELIMINARY
NOT FOR CONSTRUCTION

CONDITIONAL USE PERMIT
10.31.2025

REVISIONS

KEY PLAN

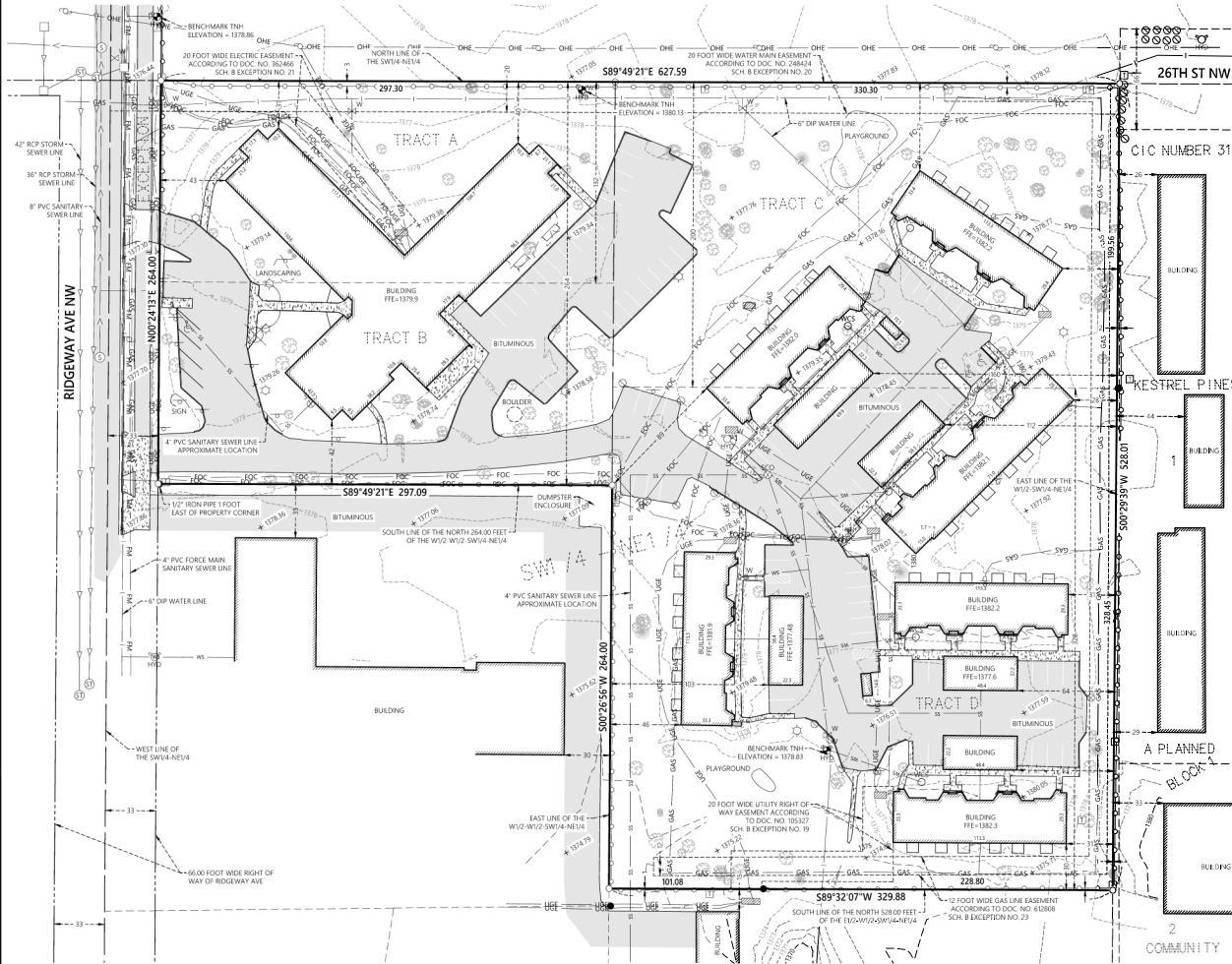
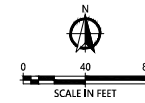
DATE 10/15/2025
PROJECT # 24-018
PHASE C.U.P.
DRAWN BY
CHECKED BY

SHEET INDEX

G002

ALTA / NSPS LAND TITLE SURVEY

PART OF THE SW1/4 OF THE NE 1/4,
SECTION 5, TOWNSHIP 146, RANGE 33,
BELTRAMI COUNTY, MINNESOTA



- ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE BELTRAMI COUNTY COORDINATE DATABASE NAD83
- ELEVATIONS BASED ON NAVD88 VERTICAL DATUM BENCHMARK TOP NUT HYDRANT NEAR NW CORNER OF THE PROPERTY. ELEVATION = 1378.86 FEET
- DENOTES FOUND IRON MONUMENT
 - DENOTES 1/2 INCH DIAMETER BY 18 INCH LONG IRON PIPE SET AND MARKED BY RLS #60122
 - TREE - CONIFER
 - TREE - DECIDUOUS
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - CURB & GUTTER
 - FENCE POST
 - ✕ MAILBOX
 - SIGN - SINGLE
 - CURB STOP
 - WATER MAIN VALVE
 - STORM SEWER MANHOLE
 - WATER MAIN PIPE
 - FENCE - CHAINLINK
 - TELECOM PEDESTAL
 - FOC UNDERGROUND FIBER OPTIC CABLE
 - LIGHT POLE
 - TRANSFORMER
 - UNDERGROUND ELECTRIC WIRE
 - NATURAL GAS METER
 - NATURAL GAS MAIN PIPE
 - CLEANOUT
 - SANITARY SEWER MANHOLE
 - FM FORCE MAIN PIPE
 - GRAVITY MAIN PIPE

SURVEYOR'S TABLE A NOTES:

1. MONUMENTS HAVE BEEN FOUND OR SET AS SHOWN.
2. THE ADDRESS FOR THE SUBJECT PROPERTY ACCORDING TO THE BELTRAMI COUNTY INTERACTIVE MAPPING IS 2599 RIDGEWAY AVE NW BEMIDJI, MINNESOTA 56601.
3. ACCORDING TO THE FEMA COMMUNITY STATUS BOOK REPORT, THE CITY OF BEMIDJI CURRENTLY FALLS WITHIN NO SPECIAL FLOOD HAZARD AREA (ZONE C NSHA).
4. THE SUBJECT PROPERTY AREA = 5,802 ACRES.
5. VERTICAL RELIEF CONTOURS ARE SHOWN. VERTICAL DATUM AND BENCHMARK LISTED IN THE LEGEND.
6. THERE WAS NO ZONING REPORT OR LETTER PROVIDED AT THE TIME OF THE SURVEY, ACCORDING TO THE CITY OF BEMIDJI ZONING MAP THE SUBJECT PROPERTY IS CURRENTLY LOCATED IN THE MULTIPLE FAMILY (RM) ZONING DISTRICT. SETBACKS ACCORDING TO THE CITY OF BEMIDJI ASSISTANT PLANNERS ARE AS FOLLOWS:
FRONT = 30 FEET REAR = 30 FEET
SIDE = 7.5 FEET (PLUS 1 FOOT FOR EVERY FOOT A BUILDING IS TALLER THAN 40 FEET IN HEIGHT)
MAX BUILDING HEIGHT = 50 FEET
7. PARTIAL EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL ARE AS SHOWN. SEE BUILDING PLANS FOR GREATER DETAIL.
8. SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD SURVEY ARE AS SHOWN.
9. PARKING STRIPES ARE AS SHOWN.
PARKING SPACES = 79 HANDICAP PARKING SPACES = 3
10. THERE WERE NO KNOWN DIVISION OR PARTY WALLS OBSERVED DURING THE PROCESS OF THIS SURVEY.
11. UNDERGROUND UTILITIES ACCORDING TO DODPHER STATE ONE CALL LOCATE NO. 252191064, TOGETHER WITH CITY OF BEMIDJI PUBLIC UTILITY MAPPING AND GIS APPLICATIONS AND WAGNER PLUMBING UTILITY SKETCHES PROVIDED, FURTHER INSPECTION/VERIFICATION IS RECOMMENDED PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
12. THERE WERE NO PLOTTABLE OFFSITE (APPURTENANT) EASEMENTS OBSERVED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR.

SURVEYOR'S CERTIFICATE

To: Chicago Title Insurance Company and Red Pine Estates II, L.L.P., a Minnesota Limited Liability Partnership.
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-6, 7(a), 8-11, and 18 of table "A" thereof. The field work was completed August 13, 2025.
Date of plat or Map: October 22, 2025
Tyler Pogreba
Tyler J. Pogreba, Minnesota License No. 60122

Chicago Title Insurance Company's Commitment No. CP73889, Effective Date July 25, 2025 as listed was relied upon for matters of record. Other easements or exceptions may exist that were not shown in this commitment and are not shown on this survey.

SURVEYOR'S SCHEDULE B TITLE RESPONSES:

- ACCORDING TO CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. CP73889 Effective Date: July 25, 2025:
1. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 2. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 3. RESPONSE: THERE WERE NO ENCUMBRANCES, VIOLATIONS, VARIATIONS, OR ADVERSE CIRCUMSTANCES AFFECT THE TITLE OBSERVED BY THE SURVEYOR DURING THE PROCESS OF THIS SURVEY.
 4. RESPONSE: EASEMENTS SHOWN ARE ACCORDING TO CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. CP73889.
 5. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 6. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 7. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 8. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 9. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 10. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 11. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 12. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 13. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 14. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 15. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 16. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 17. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 18. RESPONSE: ELECTRIC RIGHT OF WAY EASEMENT DOC. NO. 484843 IS DESCRIBED EAST OF THE SUBJECT PROPERTY AND THEREFORE DOES NOT AFFECT THE SUBJECT PROPERTY.
 19. RESPONSE: UTILITY RIGHT OF WAY EASEMENT DOC. NO. 103327 IS AS SHOWN.
 20. RESPONSE: WATER MAIN EASEMENT DOC. NO. 284444 IS AS SHOWN.
 21. RESPONSE: UTILITY RIGHT OF WAY EASEMENT DOC. NO. 36498 IS AS SHOWN.
 22. RESPONSE: THE PERMANENT EASEMENT LOCATION OF THE SANITARY EASEMENT DOC. NO. 292902 LIES WESTERLY IN A PORTION OF LAND THAT IS EXCEPTED FROM THE SUBJECT PROPERTY AND THEREFORE DOES NOT AFFECT THE SUBJECT PROPERTY.
 23. RESPONSE: GAS LINE EASEMENT DOC. NO. 400612088 IS AS SHOWN.
 24. RESPONSE: BEMIDJI REGIONAL AIRPORT ZONING ORDINANCE DOC. NO. 000624715, DOES NOT HAVE ANY PLOTTABLE MATTERS OF SURVEY FOR PROPERTIES LYING WITHIN AIRPORT ZONE 3 OVERLAY.

LEGAL DESCRIPTION: ACCORDING TO CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. CP73889, Effective Date: JULY 25, 2025:

- Tract A: The North 132 feet of the West Half of the West Half of the Southwest Quarter of the Northeast Quarter, Section 5, Township 146 North, Range 33 West, except the West 33.00 feet thereof.
- Tract B: The South 132 feet of the North 264 feet of the West Half of the West Half of the Southwest Quarter of the Northeast Quarter, Section 5, Township 146 North, Range 33 West, except the West 33.00 feet thereof.
- Tract C: The North 200 feet of the that part of the East Half of the West Half of the Southwest Quarter of the Northeast Quarter, Section 5, Township 146, Range 33, which lies North of State Trunk Highway No. 2.
- Tract D: The South 328 feet of the North 628 feet of the East Half of the West Half of the Southwest Quarter of the Northeast Quarter, Section 5, Township 146, Range 33.

SURVEYOR'S NOTES:
THE PIN FOR THE SUBJECT PROPERTY IS 800008300.

FOR THE PURPOSES OF THIS SURVEY A WETLAND DELINEATION WAS NEITHER REQUESTED NOR PERFORMED.



DRAWN BY: TJP
CHECKED BY: CMC

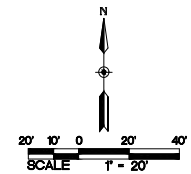
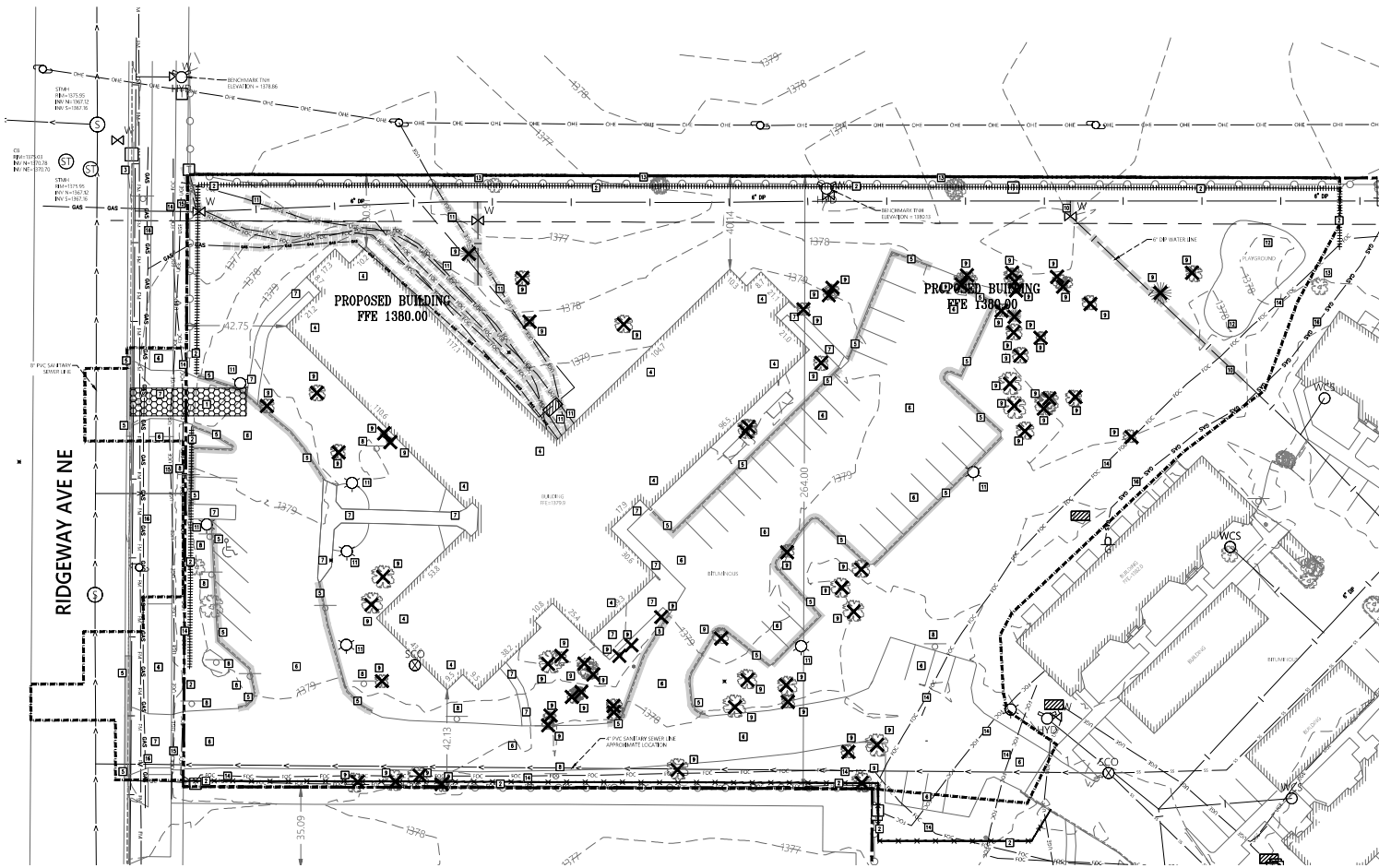
DATE	AMENDMENT DESCRIPTION	PREPARED FOR:

VICINITY MAP
SECTION 5, TOWNSHIP 146, RANGE 33,
BELTRAMI COUNTY, MINNESOTA
(SCALE = 1"=1500')



RED PINE ESTATES II, LLLP

PROJECT #: 2025-1329



NOTE: CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO OBTAIN CLEAR UNDERSTANDING OF THE FULL SCOPE OF TREE, UNDERGROUND, AND OTHER VEGETATION CLEARING THAT NEEDS TO OCCUR.

NOTE: PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL REVIEW AND DETERMINE THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF EXISTING UTILITIES TO REMAIN WILL BE IMPACTED BY PROPOSED WORK.

NOTE: CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO OBTAIN CLEAR UNDERSTANDING OF THE FULL SCOPE OF TREE, UNDERGROUND, AND OTHER VEGETATION CLEARING THAT NEEDS TO OCCUR.

ABBREVIATIONS

BLDG	Building
BM	Benchmark
DI	Ductile Iron Pipe
ELEV	Elevation
FM	Force Main
FOC	Fiber Optic Cable
IN	Inlet
MAN	Manhole
CH	Channel
OHE	Overhead Electric Wire
PC	Precast Concrete
PCP	Prefabricated Concrete Pipe
SS	Sanitary Sewer
SSC	Sanitary Sewer Cleanout
SSM	Sanitary Sewer Manhole
ST	Storm Sewer
STC	Storm Sewer Cleanout
USE	Underground Electric Wire
WSS	Water Control Stop

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---X---
SILTATION FENCE	=====
SEDIMENT CONTROL LOG PROTECTION	=====
FENCE	=====
PROPERTY LINE	-----
SAWCUT LINE (APPROX)	-----
CONSTRUCTION ENTRANCE	=====
BETWEEN REMOVAL	=====
CONCRETE REMOVAL	=====
CURB REMOVAL	=====
PIPE REMOVAL	=====
FENCE REMOVAL	=====
UTILITY REMOVAL	=====
TREE REMOVAL	=====

KEYED NOTES

- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- INSTALL CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C500.
 - INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C500 AND 3/C500.
 - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 4/C500.
 - REMOVE BUILDING IN ITS ENTIRETY, INCLUDING EXTERIOR STAIRS, OVERHANGS, FOOTINGS, AND SMALL UTILITIES. COORDINATE REMOVAL OF SMALL UTILITIES WITH LOCAL UTILITY COMPANIES.
 - REMOVE CURB AND GUTTER IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN. SAWCUT AND REMOVE AT NEAREST JOINT.
 - SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - REMOVE CONCRETE PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - REMOVE SIGN IN ITS ENTIRETY INCLUDING FOOTINGS.
 - REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
 - REMOVE WATER MAIN, HYDRANTS, AND VALVES IN THEIR ENTIRETY TO THE EXTENTS SHOWN. REFER TO DETAIL 8/C500 FOR RECONNECTION.
 - REMOVE EXISTING ELECTRICAL LINES, LIGHT POLES, AND FOOTINGS TO THE APPROXIMATE EXTENT SHOWN. CONTRACTOR SHALL COORDINATE EXACT LIMITS OF REMOVAL WITH THE ELECTRICAL CONTRACTOR.
 - REMOVE PLAYGROUND EQUIPMENT IN THEIR ENTIRETY, INCLUDING ERODING AND FOUNDATIONS.
 - EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING FIBER OPTIC LINE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING UNDERGROUND ELECTRICAL LINE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING GAS MAIN TO REMAIN. PROTECT AT ALL TIMES.

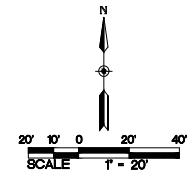
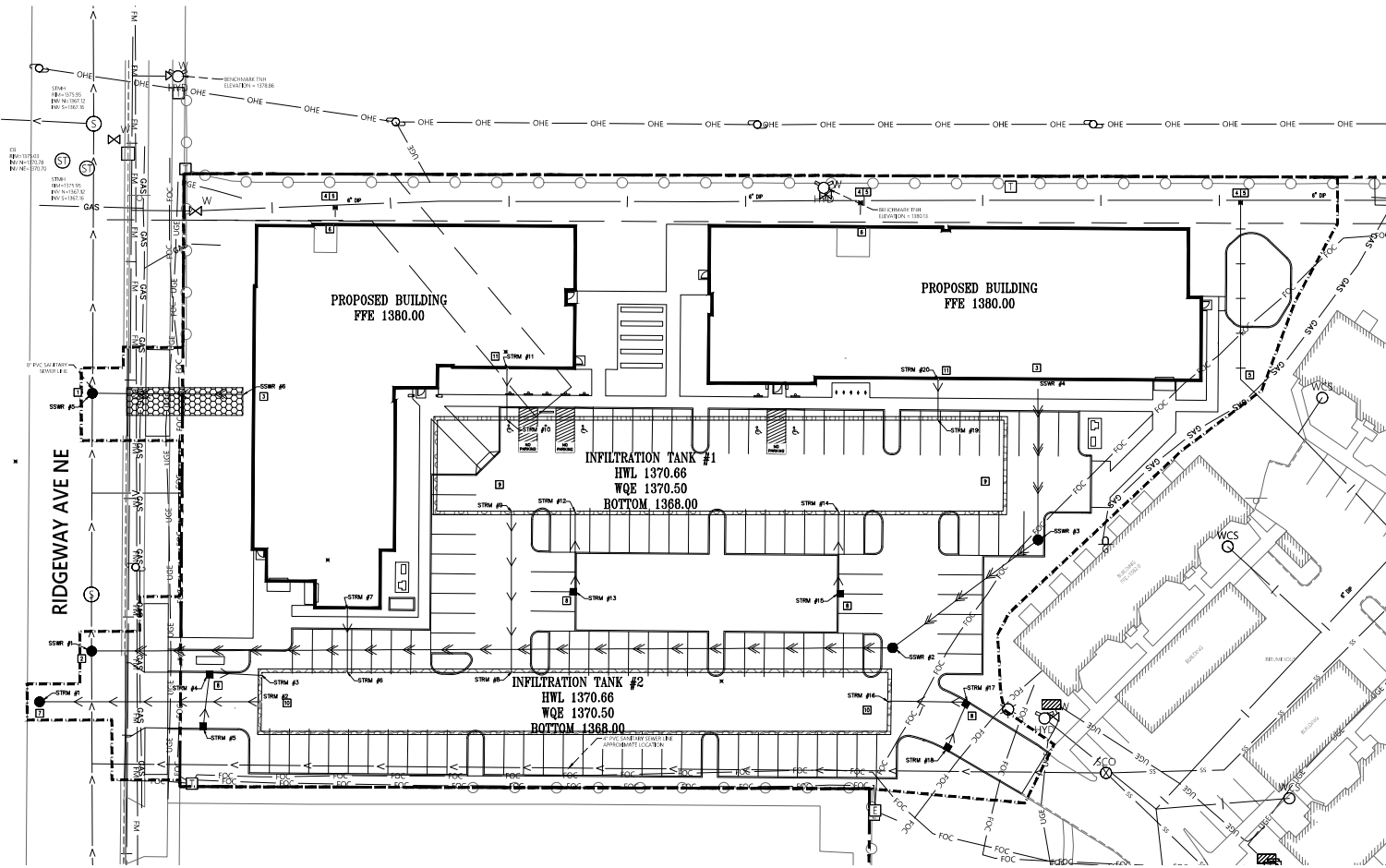
DEMOLITION AND REMOVAL NOTES:

- CONTRACTOR SHALL FOLLOW ALL CITY OF BEMIDJ standards and specifications.
- PRIOR TO START OF ANY CONSTRUCTION ACTIVITY, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF BEMIDJ. PERIMETER SEDIMENT PROTECTION SHALL BE INSTALLED ALONG THE CONTROL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL UTILITIES ARE MARKED. ON, IF MARKED, ARE CORRECT. VERIFY ALL UTILITIES USING THE QUALITY ASSURANCE PROGRAM FOR FIELD LOCATING EXISTING UTILITIES.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO CLEARLY IDENTIFY IN THE FIELD THE WETLAND PERIMETERS THAT ARE NOT TO BE ENTERED OR DISTURBED. LOCATE THE PERIMETERS AND CLEARLY MARK IN THE FIELD. THE CONTRACTOR SHALL CONTACT UPPER TO CONFIRM AND APPROVE NO ENCROACHMENT LIMITS.
- THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- REMOVE ALL GAS AND ELECTRIC LINES UNDER PROPOSED BUILDING FOOTPRINT. COORDINATE DISCONNECTION OF EACH UTILITY WITH THE UTILITY OWNER.
- ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT ARE TO BE PROTECTED AT ALL TIMES.
- EXISTING CONCRETE PAVEMENT AND CURB AND GUTTER SHOWN TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT SHALL BE REMOVED FROM THE SAW CUT LINES TO THE NEAREST JOINT. ANY CURB AND GUTTER, SIDEWALK, AND PAVEMENT NOT INDICATED FOR REMOVAL OR ABANDONMENT ARE TO BE PROTECTED AT ALL TIMES.
- THE BACKGROUND INFORMATION WAS PREPARED BY HDS/ETHA, (218) 444-1839.
- ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF BEMIDJ. ROADWAY REPAIRS, BOLLARD REPAIRS, AND TRAFFIC CONTROL ARE TO PER CITY OF BEMIDJ STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:

- CONCRETE CURB AND GUTTER REMOVAL, PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED WITH THE CITY OF BEMIDJ AND UTILITY OWNERS.
- THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET DEMOLITION.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS AND GEOTECHNICAL REPORTS. NO ADJUSTMENTS TO THE PLAN SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED PERFORMING THE ABOVE.
- THE CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF BEMIDJ FOR THE EXACT CONSTRUCTION ENTRANCE LOCATION.

C100 SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN



NOTE: WHERE PROPOSED GRADE OVER EXISTING SMALL UTILITIES IS PROPOSED TO BE LOWERED, CONTRACTOR SHALL COORDINATE WITH UTILITY OWNERS FOR THE LOWERING OF THE EXISTING UTILITIES TO PROTECT THE MINIMAL COVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER.

NOTE: PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND DETERMINE THE LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES. CONTACT CIVIL ENGINEER IF EXISTING UTILITIES TO REMAIN WILL BE IMPACTED BY PROPOSED WORK.

- UTILITY NOTES FOR WORK IN PUBLIC RIGHT-OF-WAY:
1. FOLLOW ALL CITY OF REMOND AND BELTRAM COUNTY STANDARDS AND SPECIFICATIONS.
 2. PRIOR TO CONSTRUCTION, CONTRACTORS ARE TO COORDINATE ALL WORK WITH RIGHT-OF-WAY AND OBTAIN ALL APPLICABLE PERMITS.

ABBREVIATIONS	
BENC	Benchmark
BM	Benchmark
ELEV	Elevation
FFE	Finished Floor Elevation
FM	Face Man
FOC	Fiber Optic Cable
INT	Intersect
MAN	Manhole
MIN	Minimum
MIN	Minimum Slope
PI	Post Indicator Valve
PC	Pre-Cast Concrete
RCP	Reinforced Concrete Pipe
RS	Recessed Service
SCD	Sanitary Sewer Cleanout
SM	Storm Sewer
SS	Storm Sewer Manhole
UP	Underground
WCS	Water Control Structure
WQE	Water Quality Elevation

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SMOULT LINE (APPROX.)	---
SANITARY SEWER	---
WATER PIPE	---
STORM SEWER	---
FIRE HYDRANT	---
POST-INDICATOR VALVE	---
SAFE VALVE	---
PIPE CONNECTION	---
CATCH BASIN	---
MANHOLE	---
PIPE ISOLATION	---
SEWER INVERT ELEVATION	---

- KEYED NOTES
- KEYED NOTES ARE DENOTED BY [Symbol] ON PLAN.
1. CONTRACTOR SHALL INSTALL MANHOLE IN LINE WITH EXISTING 8-INCH PVC PIPE. APPROPRIATE INVERT OF EXISTING PIPE IS LOCUS. PRIOR TO INSTALLATION OF MANHOLE, CONTRACTOR SHALL CONTACT CIVIL ENGINEER WITH EXACT INVERT ELEVATION.
 2. CONTRACTOR SHALL INSTALL MANHOLE IN LINE WITH EXISTING 8-INCH PVC PIPE. APPROPRIATE INVERT OF EXISTING PIPE IS LOCUS. PRIOR TO INSTALLATION OF MANHOLE, CONTRACTOR SHALL CONTACT CIVIL ENGINEER WITH EXACT INVERT ELEVATION.
 3. LOCATION OF PROPOSED SANITARY SEWER SHALL BE WITHIN 5'-FEET OF PROPOSED BUILDING. REFER TO SANITARY SEWER TABLE FOR INVERT ELEVATIONS AND PIPE SIZES. COORDINATE EXACT LOCATION, SIZE, AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 4. INSTALL 6-INCH BY 6-INCH TEE. REFER TO DETAIL 8/5/200.
 5. INSTALL 6-INCH GATE VALVE. REFER TO DETAIL 8/5/200.
 6. STUB 6-INCH JOINT FIRE PROTECTION LINE AND DOMESTIC WATER LINE TO WITHIN 5'-FEET OF THE PROPOSED BUILDING. TOP OF WATER SERVICE SHALL BE 2'-0" BELOW FINISHED GRADE AT THE PROPOSED CONNECTION POINT. CONTRACTOR EXACT SIZE AND LOCATION WITH MECHANICAL AND STRUCTURAL PLANS PRIOR TO THE START OF CONSTRUCTION.
 7. CONTRACTOR SHALL INSTALL MANHOLE IN LINE WITH EXISTING 8-INCH PVC PIPE. APPROPRIATE INVERT OF EXISTING PIPE IS LOCUS. PRIOR TO INSTALLATION OF MANHOLE, CONTRACTOR SHALL CONTACT CIVIL ENGINEER WITH EXACT INVERT ELEVATION.
 8. INSTALL SUMP DITCH BASH WITH SNOOT, ENVIROHOOD, SAFETY SHIELD OR APPROVED EQUAL. REFER TO DETAIL 4/5/200.
 9. INITIAL FILTRATION SYSTEM #1 PER DETAIL 3/000. FILTRATION SYSTEM SHALL HAVE AN INLET FILTER VOLUME OF 3000 CU. FT. TOTAL VOLUME OF 3000 CU. FT. AND MEET THE RATE CONTROL REQUIREMENTS INDICATED ON SHEET 3/000. REFER TO DETAIL 3/000 FOR ADDITIONAL INFORMATION.
 10. INITIAL FILTRATION SYSTEM #2 PER DETAIL 3/000. FILTRATION SYSTEM SHALL HAVE AN INLET FILTER VOLUME OF 3000 CU. FT. TOTAL VOLUME OF 3000 CU. FT. AND MEET THE RATE CONTROL REQUIREMENTS INDICATED ON SHEET 3/000. REFER TO DETAIL 3/000 FOR ADDITIONAL INFORMATION.
 11. LOCATION OF PROPOSED ROSE SHALL REFER TO STORM SEWER TABLE FOR INVERT ELEVATIONS AND PIPE SIZES. COORDINATE EXACT LOCATION, SIZE, AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

1 C300 UTILITY PLAN 1" = 20'

STORM SEWER TABLE						
STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	INVERT ELEVATION	RM ELEVATION	INVERT ELEVATIONS	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE	
STRM #1	48" MH	REFER TO DETAILS	1378.00	E = 1369.84	98 L.F. OF 14" PVC @ 1.00%, STRM #2	
STRM #2	TANK CONNECTION	NA	W = 1370.50			
STRM #3	TANK CONNECTION	NA	W = 1370.50	23 L.F. OF 12" RCP @ 0.00%, STRM #4		
STRM #4	48" SUMP CB MH	R-3067	1377.69	E = 1371.63 S = 1373.79	24 L.F. OF 12" RCP @ 2.00%, STRM #5	
STRM #5	24" x 36" CB	REFER TO DETAILS	1377.77	N = 1374.27		
STRM #6	TANK CONNECTION	NA	N = 1370.50	28 L.F. OF 8" PVC @ 12.82%, STRM #7		
STRM #7	ROOF DRAIN CONNECTION	NA	S = 1374.00			
STRM #8	TANK CONNECTION	NA	N = 1368.33	69 L.F. OF 8" PVC @ 0.00%, STRM #9		
STRM #9	TANK CONNECTION	NA	S = 1368.33			
STRM #10	TANK CONNECTION	NA	N = 1370.50	22 L.F. OF 8" PVC @ 15.81%, STRM #11		
STRM #11	ROOF DRAIN CONNECTION	NA	S = 1374.00			
STRM #12	TANK CONNECTION	NA	S = 1370.50	35 L.F. OF 12" RCP @ 2.00%, STRM #13		
STRM #13	48" SUMP CB MH	REFER TO DETAILS	1376.00	N = 1371.19		
STRM #14	TANK CONNECTION	NA	S = 1370.50	38 L.F. OF 12" RCP @ 2.00%, STRM #15		
STRM #15	48" SUMP CB MH	REFER TO DETAILS	1375.80	N = 1371.21		
STRM #16	TANK CONNECTION	NA	E = 1370.50	34 L.F. OF 12" RCP @ 2.00%, STRM #17		
STRM #17	48" SUMP CB MH	REFER TO DETAILS	1376.83	N = 1372.19 SW = 1372.96	22 L.F. OF 12" RCP @ 2.00%, STRM #18	
STRM #18	24" x 36" CB	REFER TO DETAILS	1376.90	NE = 1373.40		
STRM #19	TANK CONNECTION	NA	N = 1370.50	18 L.F. OF 10" PVC @ 20.02%, STRM #20		
STRM #20	ROOF DRAIN CONNECTION	NA	S = 1374.00			

SANITARY SEWER TABLE						
STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	MECHANICAL CASTING TYPE	RM ELEVATION	INVERT ELEVATIONS	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STR	
SSWM #1	48" MH	REFER TO DETAILS	1371.19	E = 1370.00	345 L.F. OF 8" PVC @ 0.07%, SSWM #2	
SSWM #2	48" MH	REFER TO DETAILS	1378.08	W = 1371.96 NE = 1372.05	78 L.F. OF 8" PVC @ 1.00%, SSWM #3	
SSWM #3	48" MH	REFER TO DETAILS	1377.49	SW = 1373.83	65 L.F. OF 8" PVC @ 3.18%, SSWM #4	
SSWM #4	Sanitary Sewer Service Connection	NA	S = 1370.00			
SSWM #5	48" MH	REFER TO DETAILS	1374.12	E = 1372.93	65 L.F. OF 8" PVC @ 3.18%, SSWM #6	
SSWM #6	Sanitary Sewer Service Connection	NA	W = 1370.00			

- UTILITY NOTES:
1. CONTRACTOR SHALL FOLLOW ALL CITY OF REMOND STANDARDS AND SPECIFICATIONS.
 2. COORDINATE SERVICE CONNECTION LOCATIONS, SIZES, AND INVERTS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. IF ADDITIONAL COORDINATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
 3. COORDINATE UTILITY INSTALLATION WITH STRUCTURAL PRIOR TO START OF CONSTRUCTION. UTILITIES SHALL NOT BE INSTALLED WITHIN THE ZONE OF INFLUENCE OF ANY STRUCTURAL ELEMENTS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR UNCOORDINATED WORK.
 4. ALL SEWER SERVICE CONNECTIONS WITH LESS THAN 5 FEET OF COVER OVER THE TOP OF PIPE SHALL BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS A FEET OF COVER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM ARCHITECT OR ENGINEER PRIOR TO INSTALLATION OF INSULATION.
 5. PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
 6. ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF REMOND AND BELTRAM COUNTY STANDARDS.
 7. ALL WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 50, UNLESS NOTED OTHERWISE.
 8. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 60 FEET OVER TOP OF WATER MAIN.
 9. PROVIDE THURST BLOTTING ON ALL WATER MAIN PER CITY OF REMOND. PROVIDE MECHANICAL JOINT RESTRAINTS ON ALL BRICK, MANHOLE, TEES, PLUGS, AND WORKMAN LEGS.
 10. SANITARY SEWER PIPING SHALL BE SDR 35 PVC UNLESS NOTED OTHERWISE.
 11. STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE (RCP), UNLESS NOTED OTHERWISE. ALL 12-INCH THROUGH 18-INCH RCP STORM SEWER PIPE SHALL BE CLASS 5. RCP PIPE LARGER THAN 18-INCH SHALL BE CLASS 3 UNLESS NOTED OTHERWISE. ALL STORM SEWER PIPE THAT IS EXTENDED TO THE BUILDING FOR ROOF DRAIN SERVICES SHALL BE ASTM D1785 OR ASTM D2063 SCHEDULE 40 PVC.
 12. STORM SEWER PIPING SHALL BE SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE), UNLESS NOTED OTHERWISE. HDPE PIPE SHALL CONFORM TO ASTM F2064.
 13. STORM SEWER PIPING SHALL BE ASTM D2034 SDR 34 POLY VINYL CHLORIDE (PVC), UNLESS NOTED OTHERWISE. ALL STORM SEWER PIPE THAT IS EXTENDED TO THE BUILDING FOR ROOF DRAIN SERVICES SHALL BE ASTM D1785 OR ASTM D2063 SCHEDULE 40 PVC.
 14. ALL FLAMED END SECTIONS SHALL HAVE TIGHT GUARDS. ALL DOWNSTREAM FLAMED END SECTIONS SHALL HAVE GEOTEXTILE FABRIC AND RIPPED FIBER MATT STANDARDS AS DETAIL.
 15. CONTRACTOR SHALL COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION, AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
 16. WHERE PROPOSED GRADE OVER EXISTING SMALL UTILITIES IS PROPOSED TO BE LOWERED, CONTRACTOR SHALL COORDINATE WITH UTILITY OWNER FOR THE LOWERING OF THE EXISTING UTILITY TO PROTECT THE MINIMAL COVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
 17. ALL PORTIONS OF THE STORM AND SANITARY SEWER SYSTEMS LOCATED WITHIN 10'-FEET OF THE BUILDING OR UNDER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE. PIPING MATERIAL SHALL BE ASTM D1785 OR ASTM D2063 SCHEDULE 40 PVC.
 18. ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO ALL PLUMBING CODE APPROVED RESIDENTIAL PLUMBING CODE. ALL JOINTS AND CONNECTIONS IN THE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES, RESIDENT WATER-STOP GROUTING RINGS ARE AN ACCEPTABLE ALTERNATE. CHECK MANHOLE UNITS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

SCHUETT COMPANIES
Tamarack Woods Apartments
Belmont, WI

URBANWORKS
PRELIMINARY
NOT FOR CONSTRUCTION

CONSULTANT
BKBM
10750 W. 50th Ave., Suite 100
Broomfield, CO 80020
781.484.8800
www.bkbm.com

PRELIMINARY
NOT FOR CONSTRUCTION

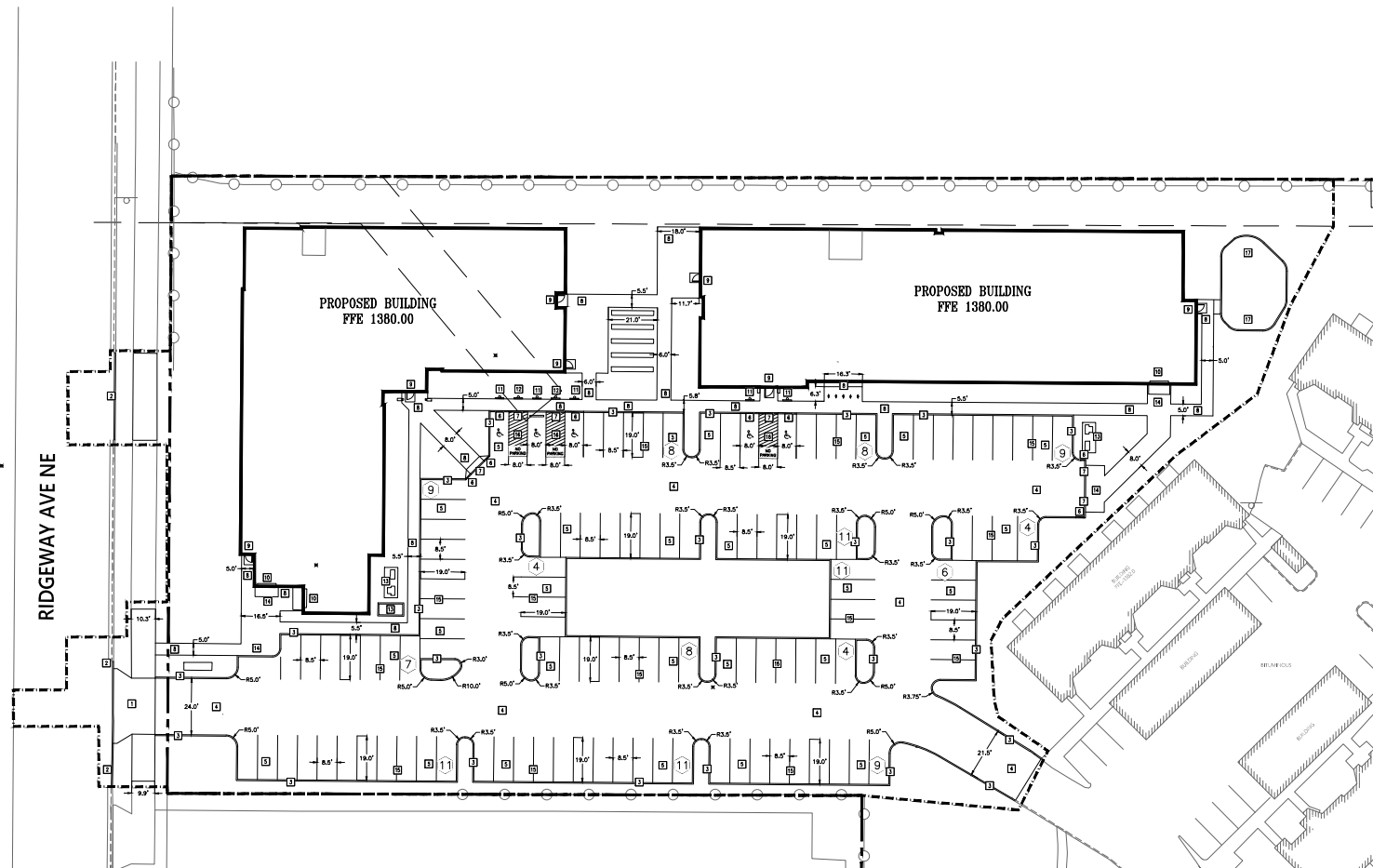
CONDITIONAL USE PERMIT
10/27/2020

REVISIONS

DATE: 10/14/2020
PROJECT #: 2019-014
PRIME: CUP
DRAWN BY: JHM
CHECKED BY: KAM

UTILITY PLAN

C300

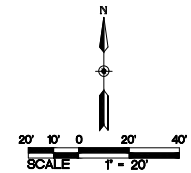


RIDGEWAY AVE NE

PROPOSED BUILDING
FFE 1380.00

PROPOSED BUILDING
FFE 1380.00

1 PAVING AND GEOMETRIC PLAN
1" = 20'



SYMBOL	ABBREVIATIONS
BM	Benchmark
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
LFL	Lower Floor Elevation
MAX	Maximum
MIN	Minimum
R	Radius
TYP	Typical
MINN/STD	Minnesota Manual on Uniform Traffic Control Devices

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---+---+---
PROPERTY LINE	—+—+—+—
SHOWOUT LINE (APPROX)	---+---+---
RETAINING WALL	---+---+---
BITUMINOUS PAVEMENT	---+---+---
CONCRETE PAVEMENT/SIDEWALK	---+---+---
SEE LANDSCAPE PLANS FOR PAVEMENT DETAILS	---+---+---
FLAT CURB AND GUTTER	---+---+---
PEDESTRIAN CURB RAMP	---+---+---
ACCESSIBLE PARKING SYMBOL	---+---+---
SIGN	---+---+---
PARKING STALL COUNT	⑥

- PAVING NOTES:**
- CONTRACTOR SHALL FOLLOW ALL CITY OF BEMIDJ STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - ALL CURB AND GUTTER IS TO BE 8"18 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE.
 - NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 0% LONGITUDINAL SLOPE.
 - REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.
 - FOLLOW ALL CITY OF BEMIDJ AND BELTRAM COUNTY RULES, REGULATIONS, AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
 - STREET PARKING LOTS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 0% LONGITUDINAL SLOPE.
 - ACCESSIBLE AISLES SHALL BE STRIPED PER MIN CODE SECTION 502.2. WHERE "NO PARKING" SIGNAGE WOULD OBSTRUCT A CURB RAMP OR ACCESSIBLE ROUTE, "NO PARKING" SHALL BE PRINTED ON THE SURFACE OF THE ACCESSIBLE AISLE.
 - THE CONTRACTOR IS TO CONTACT THE CITY OF BEMIDJ FIRE MARSHAL FOR THE EXACT PLACEMENT OF FIRE LINES, YELLOW-PAINTED CURBING, AND NO PARKING AREAS FOR FIRE PROTECTION PURPOSES.
 - REFER TO ARCHITECTURAL PLANS FOR STAIR DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
 - INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
 - ALL EXPANSION AND ISOLATION JOINTS SHALL BE SEALED PER SPECIFICATIONS.
 - MATCH NEW PAVEMENT, CURB AND GUTTER, AND SIDEWALK INTO EXISTING. NO ABRUPT GRADE TRANSITIONS OR POPOING OF WATER WILL BE ALLOWED.
 - SHOWOUT EXISTING PAVEMENT, SIDEWALK, AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE RETAINING LIMITS WITH SITE DEVELOPMENT CONTRACTOR AND CONSTRUCTION MANAGERS.
 - INSTALL DRIVE ENTRANCE FOR CITY OF BEMIDJ STANDARDS AND SPECIFICATIONS. FOLLOW ALL CITY OF BEMIDJ AND BELTRAM COUNTY REQUIREMENTS FOR TRAFFIC CONTROL.
 - REFER TO SPECIFICATIONS FOR GRADE VERIFICATION SURVEY REQUIREMENTS PRIOR TO PLACEMENT OF SUB-BASE MATERIAL, SIDE MATERIAL, AND PAVEMENT/SIDEWALKS.

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [SYMBOL] ON PLAN.
- [SYMBOL] INSTALL 8"18 CONCRETE CURB AND GUTTER. REFER TO DETAIL 15/C501.
 - [SYMBOL] INSTALL CONCRETE DRIVE ENTRANCE. REFER TO DETAIL 8/C501.
 - [SYMBOL] INSTALL 8"18 CONCRETE CURB AND GUTTER. REFER TO DETAIL 14/C501.
 - [SYMBOL] INSTALL HEAVY-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 11/C501.
 - [SYMBOL] INSTALL LIGHT-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 10/C501.
 - [SYMBOL] INSTALL NOSE-DOWN CURB SECTION. REFER TO DETAIL 16/C501.
 - [SYMBOL] INSTALL FLAT CURB SECTION. REFER TO DETAIL 17/C501.
 - [SYMBOL] INSTALL CONCRETE WALK. REFER TO DETAIL 9/C501.
 - [SYMBOL] STAIR. REFER TO STRUCTURAL PLANS AND DETAILS.
 - [SYMBOL] CONCRETE APRON. REFER TO STRUCTURAL PLANS AND DETAILS.
 - [SYMBOL] INSTALL ACCESSIBLE PARKING SIGN. REFER TO DETAIL 1/C502.
 - [SYMBOL] INSTALL NO PARKING ANY THE SIGN. REFER TO DETAIL 2/C502.
 - [SYMBOL] INSTALL CONCRETE EQUIPMENT PAD. REFER TO MECHANICAL DRAWINGS AND MANUFACTURER'S DETAILS. FOR BECDING PURPOSES REFER TO DETAIL 13/C501.
 - [SYMBOL] INSTALL CONCRETE PAVEMENT. REFER TO DETAIL 12/C501.
 - [SYMBOL] PAVEMENT LOT STRIPING AND NO PARKING AREA. IN REE STRIPES, WHITE IN COLOR. STRIPING FOR CROSS HATCH SHALL BE AS SHOWN SPACED 3' APART.
 - [SYMBOL] PAVEMENT LOT NO PARKING AREA. IN REE STRIPES, BLUE IN COLOR. STRIPING FOR CROSS HATCH SHALL BE AS SHOWN SPACED 3' APART.
 - [SYMBOL] INSTALL PLAYGROUND EQUIPMENT. REFER TO LANDSCAPE PLANS AND SPECIFICATIONS.

SCHUETT COMPANIES
Tamarack Woods Apartments
Bemidji, MN

URBANWORKS
URBANWORKS ARCHITECTURE LLC, DBS
100 NORTH THIRD STREET, SUITE 100, MINNEAPOLIS, MN 55401

CONSULTANT
BKBM
1275 Oak Street, Suite 200
Bemidji, MN 56601
763.426.1111
www.bkbm.com

PRELIMINARY
NOT FOR CONSTRUCTION

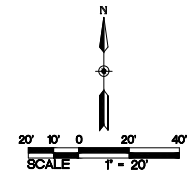
CONDITIONAL USE PERMIT
10/27/2020

REVISIONS

DATE 10/21/2020
PROJECT # 2020-15
PRIME CUP
DRAWN BY JHM
CHECKED BY KAM

PAVING AND GEOMETRIC PLAN

C400



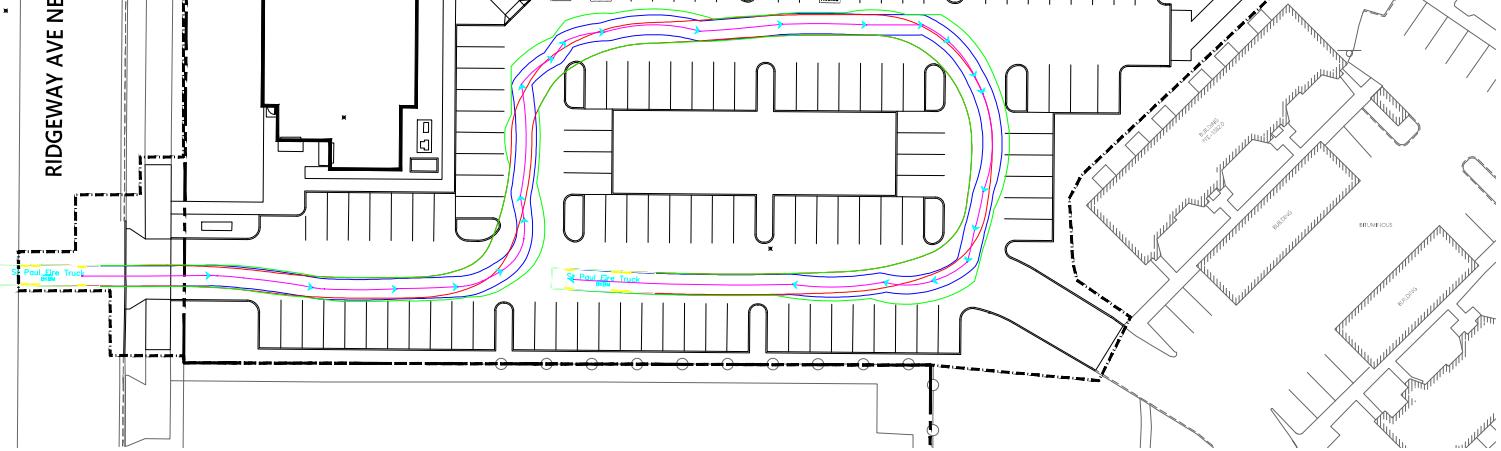
ABBREVIATIONS	
BM	Benchmark
CONC	Concrete
ELEV	Elevation
EX	Existing Floor Elevation
FFE	Finished Floor Elevation
LFE	Lower Floor Elevation
MAX	Maximum
MIN	Minimum
R	Radius
TYP	Typical
MINA/COD	Minnesota Manual on Uniform Traffic Control Devices

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SMOOTH LINE (APPROX.)	---
RETAINING WALL	---
BITUMINOUS PAVEMENT	---
CONCRETE PAVEMENT/SIDEWALK	---
SEE LANDSCAPE PLANS FOR PAVEMENT DETAILS	---
FLAT CURB AND GUTTER	---
PEDESTRIAN CURB RAMP	---
ACCESSIBLE PARKING SYMBOL	---
SIGN	---
PARKING STALL COUNT	XXX

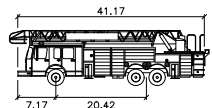
RIDGEWAY AVE NE

PROPOSED BUILDING
FFE 1380.00

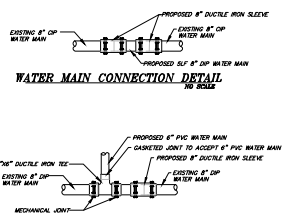
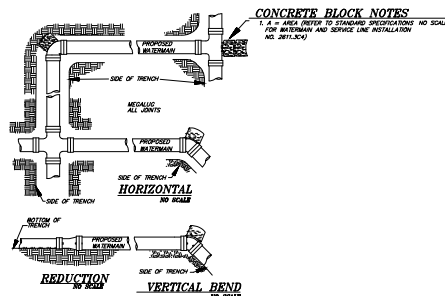
PROPOSED BUILDING
FFE 1380.00



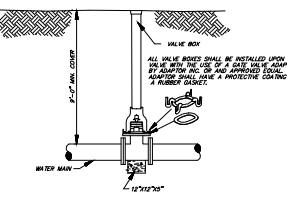
1 TURNING MOVEMENTS
C401 1" = 20'



St Paul Fire Truck
feet
Width : 8.17
Track : 8.17
Lock to Lock Time : 6.0
Steering Angle : 45.0

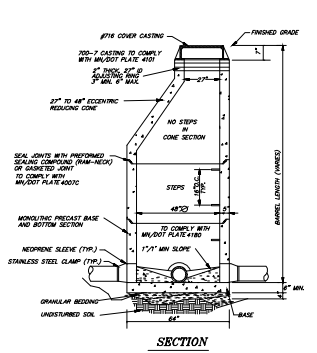


8 WATER MAIN CONNECTION DETAIL
 NOT TO SCALE

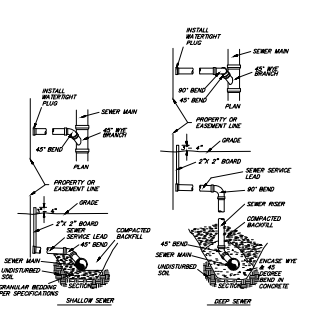


9 GATE VALVE AND BOX
 NOT TO SCALE

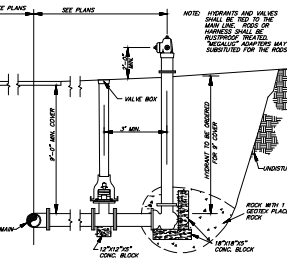
12 THRUST BLOCKING & MECHANICAL RESTRAINTS
 NOT TO SCALE



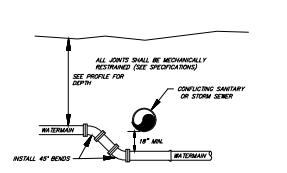
13 SANITARY SEWER MANHOLE
 NOT TO SCALE



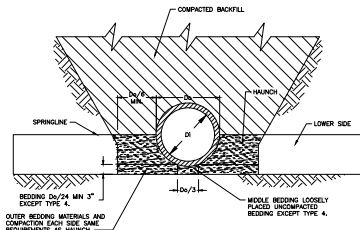
14 TYPICAL SANITARY SEWER SERVICE
 NOT TO SCALE



10 TYPICAL HYDRANT INSTALLATION
 NOT TO SCALE



11 WATERMAIN ADJUSTMENT DETAIL
 NOT TO SCALE

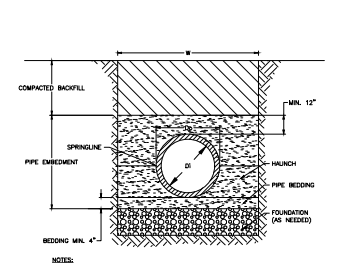


INSTALLATION TYPE	HAND AND OUTER BEDDING	LOWER SIDE
TYPE 1	SOE CATEGORY I SOE CATEGORY II	SOE CATEGORY I SOE CATEGORY II
TYPE 2	SOE CATEGORY I SOE CATEGORY II	SOE CATEGORY I SOE CATEGORY II
TYPE 3	SOE CATEGORY I SOE CATEGORY II	SOE CATEGORY I SOE CATEGORY II
TYPE 4	NO COMPACTION REQUIRED. USE SOE CATEGORY II	NO COMPACTION REQUIRED. USE SOE CATEGORY II

SOL	UNIFIED SOIL CLASSIFICATION SYSTEM (USCS)	MIN/DOF SPECIFICATION
CATEGORY I	CLEAN GRAVEL, GRAVELLY SAND, SP, SW, GP, OR ANY SOIL BEHAVING WITH ONE OF THESE SYMBOLS WITH USE OR LESS PASSING A #200 SIEVE	MIN/DOF 31.9-21
CATEGORY II	COARSE GRAVELLY SAND WITH FINER THAN NO. 100 SO. OR ANY SOIL BEHAVING WITH ONE OF THESE SYMBOLS CONTAINING MORE THAN 12% PASSING A #200 SIEVE	ADJUSTED BEDDING MIN/DOF 31.9-20
CATEGORY III	FINE GRAINED SOILS: CL, ML, (OR CL-ML, CL-M, ML/CL) WITH LESS THAN 30% RETAINED ON A #200 SIEVE	NOT APPLICABLE

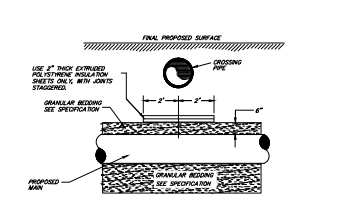
- NOTES:
 1. COMPACTION AND SOIL SYMBOLS—E.G. "SOE CATEGORY I" REFERS TO CATEGORY I SOIL MATERIAL WITH MINIMUM STANDARD PROCTOR COMPACTION OF 95%.
 2. SOIL BEHAVING AND HANDED TYPES SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS SPECIFIED FOR THE MAJORITY OF SOIL IN THE BACKFILL ZONE.
 3. THE TRENCH WIDTH SHALL BE WIDER THAN SHOWN IF REQUIRED FOR ADEQUATE SPACE TO ATTAIN SPECIFIED COMPACTION IN THE HAND AND BEDDING ZONES.
 4. FOR TRENCH WALLS WITH GREATER THAN 12% MOISTURE, THE BEDDING SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS SPECIFIED FOR THE SOIL IN THE BACKFILL ZONE.
 5. NO BEDDING IS REQUIRED FOR TRENCHES WITH A SHALLOW INSTALLATION.
 6. REFER TO ASTM C1474 FOR DETAILS.
 7. TYPE II BEDDING SHALL BE USED UNLESS NOTED OTHERWISE.

5 TYPICAL PIPE BEDDING FOR RCP AND DIP
 NOT TO SCALE

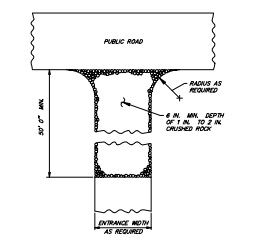


- NOTES:
 1. THE MINIMUM TRENCH WIDTH "W" SHALL BE W=D+16" OR 1.25D+12" WHICHEVER IS GREATER.
 2. PIPE EMBEDEDMENT MATERIAL SHALL BE CLASS I OR CLASS B MATERIAL. REFER TO SPECIFICATIONS FOR DETAILS.
 3. REFER TO SOIL BEHAVING & UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SANDS AND OTHER GRAVITY-FLOW APPLICATIONS FOR DETAILS.

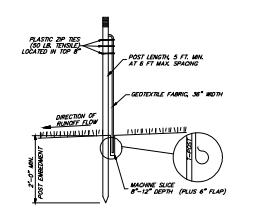
6 TYPICAL PIPE BEDDING FOR PVC
 NOT TO SCALE



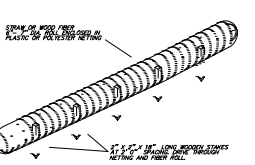
7 INSULATE UTILITY PIPE - CROSSING PIPE
 NOT TO SCALE



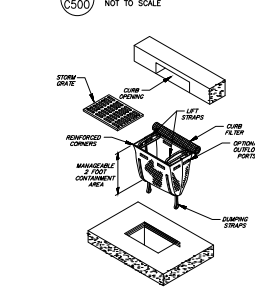
2 SILT FENCE DETAIL
 NOT TO SCALE



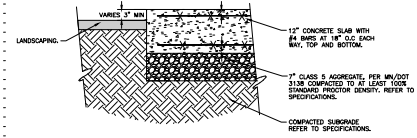
3 BIOROLL DETAIL
 NOT TO SCALE



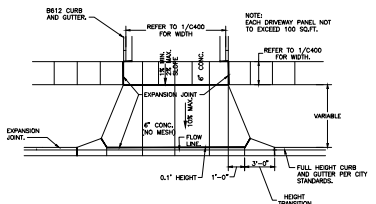
4 FILTER BAG INSERT INLET PROTECTION
 NOT TO SCALE



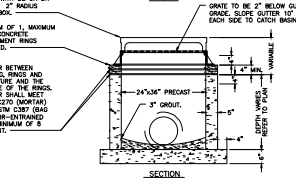
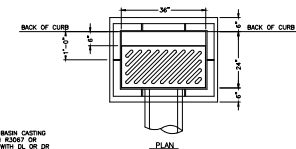
7 INSULATE UTILITY PIPE - CROSSING PIPE
 NOT TO SCALE



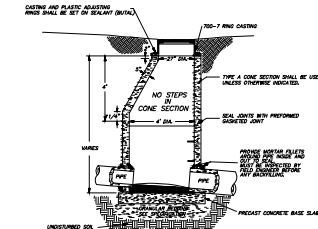
13 MECHANICAL SLAB
C501 NOT TO SCALE



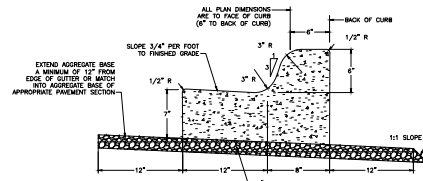
8 CONCRETE DRIVE ENTRANCE
C501 NOT TO SCALE



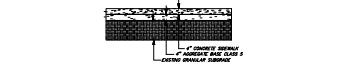
5 24" x 36" PRECAST CATCH BASIN
C501 NOT TO SCALE



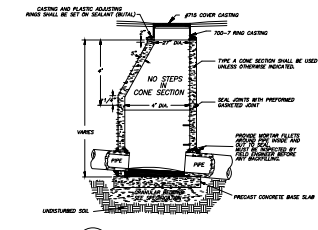
1 STORM SEWER MANHOLE
C501 NOT TO SCALE



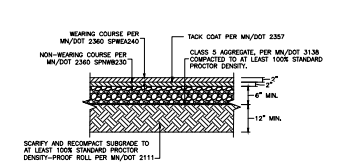
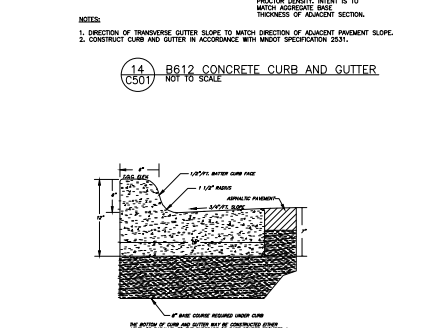
14 R612 CONCRETE CURB AND GUTTER
C501 NOT TO SCALE



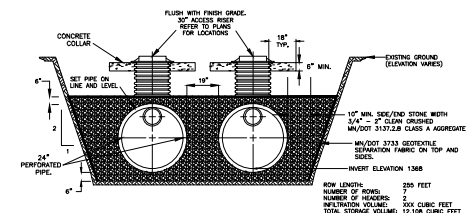
9 CONCRETE SIDEWALK
C501 NOT TO SCALE



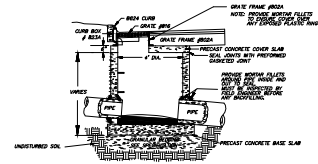
2 STORM SEWER MANHOLE
C501 NOT TO SCALE



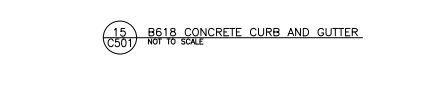
10 LIGHT-DUTY BITUMINOUS PAVEMENT
C501 NOT TO SCALE



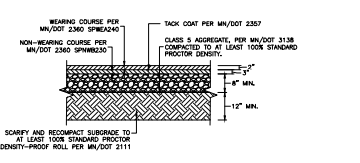
6 INFILTRATION TANK #1 DETAIL
C501 NOT TO SCALE



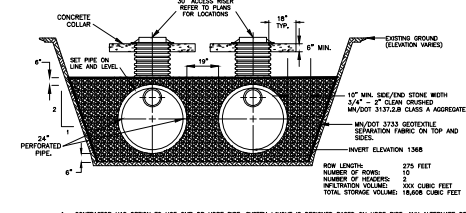
3 CATCH BASIN MANHOLE
C501 NOT TO SCALE



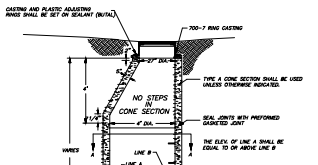
15 R618 CONCRETE CURB AND GUTTER
C501 NOT TO SCALE



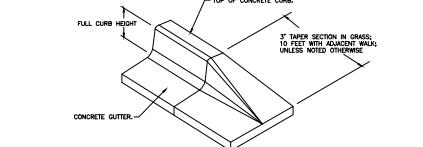
11 HEAVY-DUTY BITUMINOUS PAVEMENT
C501 NOT TO SCALE



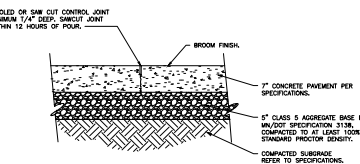
7 INFILTRATION TANK #2 DETAIL
C501 NOT TO SCALE



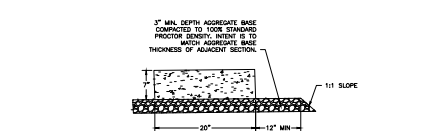
4 SUMP MANHOLE
C501 NOT TO SCALE



16 NOSE-DOWN CURB SECTION
C501 NOT TO SCALE

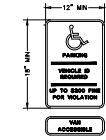


12 CONCRETE PAVEMENT
C501 NOT TO SCALE

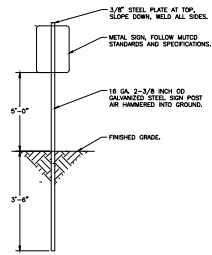


17 FLAT CURB/CONCRETE EDGER
C501 NOT TO SCALE

- CONTRACTOR HAS OPTION TO USE CMP OR HDPE PIPE. SYSTEM LAYOUT IS DESIGNED BASED ON HDPE PIPE. ANY ALTERNATE DESIGNS MUST BE APPROVED BY CIVIL ENGINEER PRIOR TO CONSTRUCTION.
- UTILIZE CURB WHEN LANDING UNIT INTO THE TRENCH. HANDLE USING WELDON SLINGS AND TWO PICK POINTS.
- PLACE BACKFILL AROUND THE UNIT IN UNIFORM 2"-12" LIFTS, COMPACTED TO 98% STD.
- WHEN THE UNIT COVERS OF 2 SECTIONS, PLACE THE DOWNSTREAM SECTION FIRST. CONNECT AND HIDE THE REMAINING SECTIONS.
- ALL CONNECTION POINTS ARE TO BE SOIL PROOF.
- ACCESS RIDGE AND CONCRETE COLLARS SHALL BE DESIGNED TO WITHSTAND HEED LOADS.
- PIPE SHALL BE FURNISHED WITH PERFORATIONS 3/4" IN DIAMETER AND PERFORMED FOR THE FULL 360 DEGREE CIRCUMFERENCE OF THE PIPE. NUMBER OF HOLES: 275 FEET 10; NUMBER OF HEADERS: 200 CUBIC FEET; TOTAL STORAGE VOLUME: 12,108 CUBIC FEET.
- CONTRACTOR TRAFFIC IN TANK BASIN IS NOT ALLOWED AFTER AREA HAS BEEN EXCAVATED. PRIOR TO FINAL STABILIZATION, LOOSEN SOIL WITH MECHANICAL TILLS. TANK BASINS ARE NOT APPROVED BLOWN SITES AND ARE NOT TO BE USED AS TEMPORARY SEWAGE BASKS ONCE BLOWN SURROUND ELEVATION HAS BEEN EXCAVATED. CONTRACTOR SHALL ENSURE THAT BASKS INFILTRATES AT A MINIMUM RATE AS INDICATED ON PLAN USING A DOUBLE RING INFILTRATION TEST WITHIN FINAL ACCEPTANCE. DOUBLE RING INFILTRATION TEST SHALL BE SIGNED BY A REGISTERED GEOTECHNICAL ENGINEER AND SUBMITTED TO THE CITY AND ENGINEER FOR REVIEW BEFORE FINAL APPROVAL.



REFER TO HANDED SIGN 47-1 FOR SIGN DETAILS



VEHICLE SURFACE POST WITH SIGN

1 SIGN AND POST NOT TO SCALE

CONSULTANT
BKBM
CONSULTANTS
1000 Hennepin Avenue, Suite 1000
Minneapolis, MN 55402
612.338.8000
www.bkbn.com

PRELIMINARY
NOT FOR CONSTRUCTION

CONDITIONAL USE PERMIT
10.27.2025

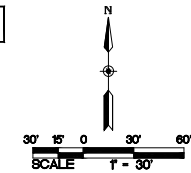
REVISIONS

DATE: 10/21/2025
PROJECT #: 250115
PRIME: CJP
DRAWN BY: JKH
CHECKED BY: KAM

CIVIL DETAILS



NOTE:
REFER TO C601 FOR STORM WATER POLLUTION
PREVENTION NOTES.



DRAINAGE AREA	EXISTING DRAINAGE AREAS			0.5" Q ₁₀ (CFS) STORM EVENT		ROUTING
	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	2-HR (CFS)	10-MIN (CFS)	
1	0.81	0.13	1.04	5.18	4.85	852
2	0.81	0.04	0.85	2.83	4.33	732
3	0.59	0.08	0.66	2.05	3.17	548
TOTAL	2.32	0.24	2.55	10.06	12.42	2132

DRAINAGE AREA	PROPOSED DRAINAGE AREAS			0.5" Q ₁₀ (CFS) STORM EVENT		ROUTING
	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	2-HR (CFS)	10-MIN (CFS)	
1	0.34	0.00	0.34	0.84	1.27	212
2	0.18	0.00	0.18	0.48	1.03	172
3	0.34	0.00	0.34	—	—	INFILTRATION
4	0.32	0.00	0.32	—	—	INFILTRATION
5	1.17	0.25	1.42	0.13	0.23	INFILTRATION
6	0.04	0.00	0.04	0.00	0.00	INFILTRATION
INFILTRATION SYSTEM				0.00	0.00	0.02
TOTAL	2.30	0.25	2.55	1.47	2.53	424

	STORMWATER RUNOFF SUMMARY			
	2-HR STORM (2.43") RUNOFF (CFS)	10-HR STORM (5.66") RUNOFF (CFS)	100-HR STORM (6.04") RUNOFF (CFS)	REMOVED 100-YEAR RATE (1.4 CFS PER ACRE)
EXISTING SITE	8.06	12.42	21.32	3.57
PROPOSED SITE	1.47	2.53	4.24	



1 EXISTING CONDITIONS
C600

SCHUETT
COMPANIES
Tamarack Woods Apartments
Bemidji, MN

URBANWORKS
CONSULTANT
1000 13TH STREET, SUITE 100, MINNEAPOLIS, MN 55403

BKBM
CONSULTANT
1000 13TH STREET, SUITE 100, MINNEAPOLIS, MN 55403

PRELIMINARY
NOT FOR CONSTRUCTION

CONDITIONAL USE PERMIT
10.27.2020

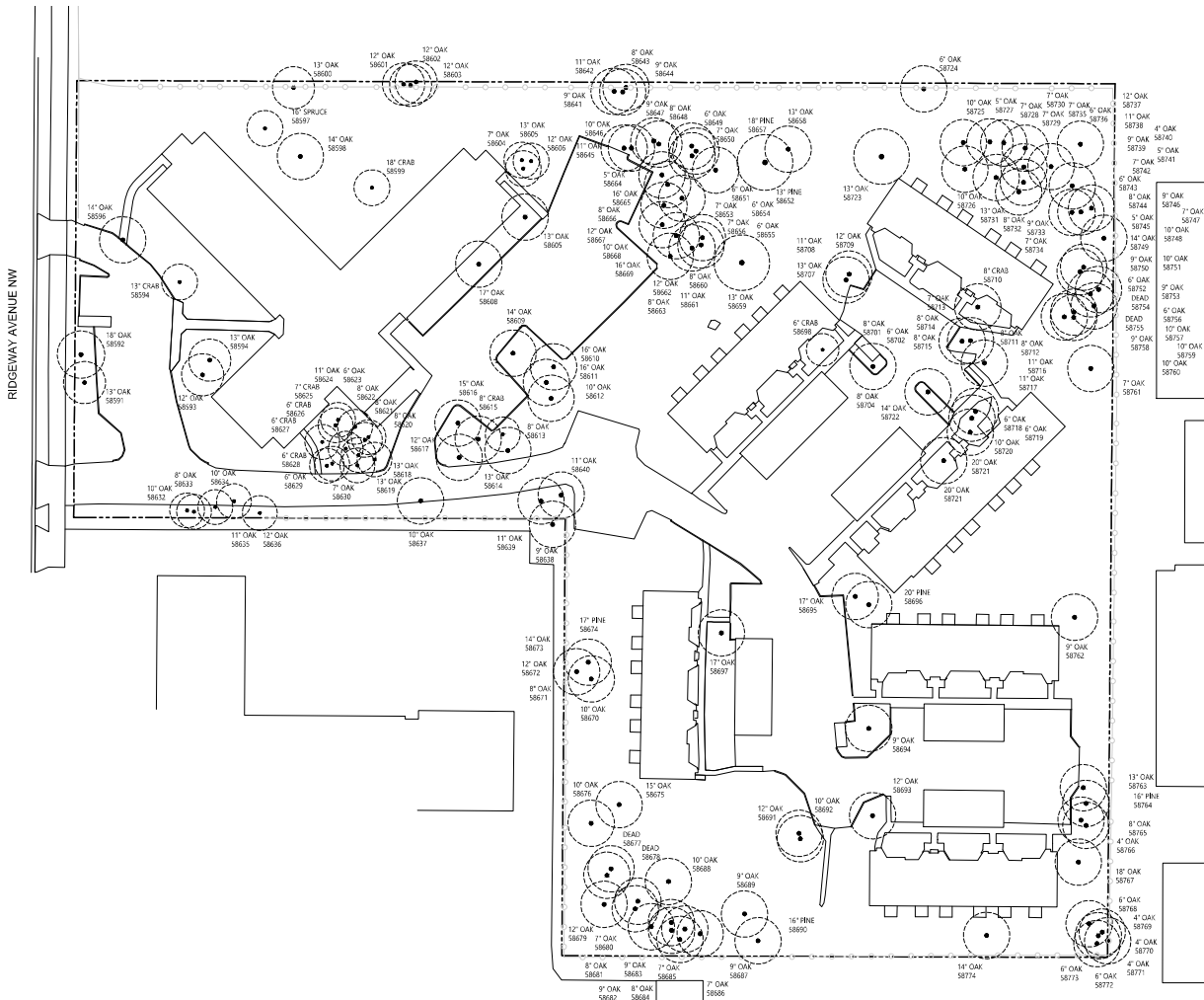
REVISIONS

DATE 10/24/2020
PROJECT # 2019-15
PRIME CJP
DRAWN BY JKH
CHECKED BY KAM

STORM WATER
POLLUTION
PREVENTION
PLAN - EXISTING
CONDITIONS

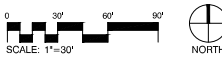
C600

VICINITY MAP
BEMIDJI, MINNESOTA



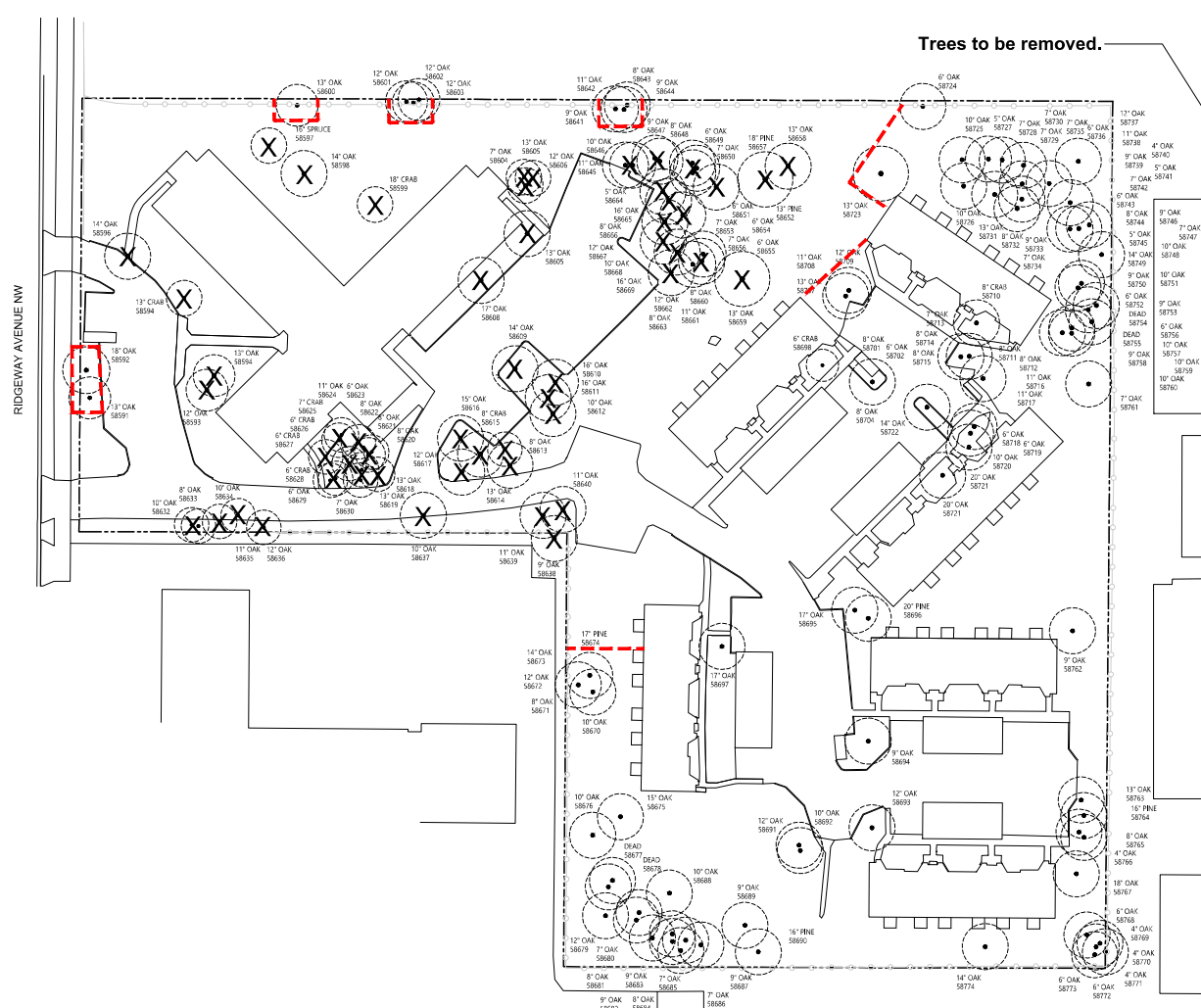
ID	Species	Size	Location
5852	Oak	12'	Open Space 100' East of Building 1000
5853	Oak	12'	Open Space 100' East of Building 1000
5854	Oak	12'	Open Space 100' East of Building 1000
5855	Oak	12'	Open Space 100' East of Building 1000
5856	Oak	12'	Open Space 100' East of Building 1000
5857	Oak	12'	Open Space 100' East of Building 1000
5858	Oak	12'	Open Space 100' East of Building 1000
5859	Oak	12'	Open Space 100' East of Building 1000
5860	Oak	12'	Open Space 100' East of Building 1000
5861	Oak	12'	Open Space 100' East of Building 1000
5862	Oak	12'	Open Space 100' East of Building 1000
5863	Oak	12'	Open Space 100' East of Building 1000
5864	Oak	12'	Open Space 100' East of Building 1000
5865	Oak	12'	Open Space 100' East of Building 1000
5866	Oak	12'	Open Space 100' East of Building 1000
5867	Oak	12'	Open Space 100' East of Building 1000
5868	Oak	12'	Open Space 100' East of Building 1000
5869	Oak	12'	Open Space 100' East of Building 1000
5870	Oak	12'	Open Space 100' East of Building 1000
5871	Oak	12'	Open Space 100' East of Building 1000
5872	Oak	12'	Open Space 100' East of Building 1000
5873	Oak	12'	Open Space 100' East of Building 1000
5874	Oak	12'	Open Space 100' East of Building 1000
5875	Oak	12'	Open Space 100' East of Building 1000
5876	Oak	12'	Open Space 100' East of Building 1000
5877	Oak	12'	Open Space 100' East of Building 1000
5878	Oak	12'	Open Space 100' East of Building 1000
5879	Oak	12'	Open Space 100' East of Building 1000
5880	Oak	12'	Open Space 100' East of Building 1000
5881	Oak	12'	Open Space 100' East of Building 1000
5882	Oak	12'	Open Space 100' East of Building 1000
5883	Oak	12'	Open Space 100' East of Building 1000
5884	Oak	12'	Open Space 100' East of Building 1000
5885	Oak	12'	Open Space 100' East of Building 1000
5886	Oak	12'	Open Space 100' East of Building 1000
5887	Oak	12'	Open Space 100' East of Building 1000
5888	Oak	12'	Open Space 100' East of Building 1000
5889	Oak	12'	Open Space 100' East of Building 1000
5890	Oak	12'	Open Space 100' East of Building 1000
5891	Oak	12'	Open Space 100' East of Building 1000
5892	Oak	12'	Open Space 100' East of Building 1000
5893	Oak	12'	Open Space 100' East of Building 1000
5894	Oak	12'	Open Space 100' East of Building 1000
5895	Oak	12'	Open Space 100' East of Building 1000
5896	Oak	12'	Open Space 100' East of Building 1000
5897	Oak	12'	Open Space 100' East of Building 1000
5898	Oak	12'	Open Space 100' East of Building 1000
5899	Oak	12'	Open Space 100' East of Building 1000
5900	Oak	12'	Open Space 100' East of Building 1000

TREE INVENTORY
1. Tree inventory background information provided by Wisdeth.



ID	Species	Size	Location
5891	Oak	12'	Open Space 100' East of Building 1000
5892	Oak	12'	Open Space 100' East of Building 1000
5893	Oak	12'	Open Space 100' East of Building 1000
5894	Oak	12'	Open Space 100' East of Building 1000
5895	Oak	12'	Open Space 100' East of Building 1000
5896	Oak	12'	Open Space 100' East of Building 1000
5897	Oak	12'	Open Space 100' East of Building 1000
5898	Oak	12'	Open Space 100' East of Building 1000
5899	Oak	12'	Open Space 100' East of Building 1000
5900	Oak	12'	Open Space 100' East of Building 1000
5901	Oak	12'	Open Space 100' East of Building 1000
5902	Oak	12'	Open Space 100' East of Building 1000
5903	Oak	12'	Open Space 100' East of Building 1000
5904	Oak	12'	Open Space 100' East of Building 1000
5905	Oak	12'	Open Space 100' East of Building 1000
5906	Oak	12'	Open Space 100' East of Building 1000
5907	Oak	12'	Open Space 100' East of Building 1000
5908	Oak	12'	Open Space 100' East of Building 1000
5909	Oak	12'	Open Space 100' East of Building 1000
5910	Oak	12'	Open Space 100' East of Building 1000
5911	Oak	12'	Open Space 100' East of Building 1000
5912	Oak	12'	Open Space 100' East of Building 1000
5913	Oak	12'	Open Space 100' East of Building 1000
5914	Oak	12'	Open Space 100' East of Building 1000
5915	Oak	12'	Open Space 100' East of Building 1000
5916	Oak	12'	Open Space 100' East of Building 1000
5917	Oak	12'	Open Space 100' East of Building 1000
5918	Oak	12'	Open Space 100' East of Building 1000
5919	Oak	12'	Open Space 100' East of Building 1000
5920	Oak	12'	Open Space 100' East of Building 1000
5921	Oak	12'	Open Space 100' East of Building 1000
5922	Oak	12'	Open Space 100' East of Building 1000
5923	Oak	12'	Open Space 100' East of Building 1000
5924	Oak	12'	Open Space 100' East of Building 1000
5925	Oak	12'	Open Space 100' East of Building 1000
5926	Oak	12'	Open Space 100' East of Building 1000
5927	Oak	12'	Open Space 100' East of Building 1000
5928	Oak	12'	Open Space 100' East of Building 1000
5929	Oak	12'	Open Space 100' East of Building 1000
5930	Oak	12'	Open Space 100' East of Building 1000
5931	Oak	12'	Open Space 100' East of Building 1000
5932	Oak	12'	Open Space 100' East of Building 1000
5933	Oak	12'	Open Space 100' East of Building 1000
5934	Oak	12'	Open Space 100' East of Building 1000
5935	Oak	12'	Open Space 100' East of Building 1000
5936	Oak	12'	Open Space 100' East of Building 1000
5937	Oak	12'	Open Space 100' East of Building 1000
5938	Oak	12'	Open Space 100' East of Building 1000
5939	Oak	12'	Open Space 100' East of Building 1000
5940	Oak	12'	Open Space 100' East of Building 1000

Trees to be removed.



ID Number	Tree Size	Species	Condition
58570	12' OAK	OAK	Good
58571	12' OAK	OAK	Good
58572	12' OAK	OAK	Good
58573	12' OAK	OAK	Good
58574	12' OAK	OAK	Good
58575	12' OAK	OAK	Good
58576	12' OAK	OAK	Good
58577	12' OAK	OAK	Good
58578	12' OAK	OAK	Good
58579	17' PINE	PINE	Good
58580	12' OAK	OAK	Good
58581	12' OAK	OAK	Good
58582	12' OAK	OAK	Good
58583	12' OAK	OAK	Good
58584	12' OAK	OAK	Good
58585	12' OAK	OAK	Good
58586	12' OAK	OAK	Good
58587	12' OAK	OAK	Good
58588	12' OAK	OAK	Good
58589	12' OAK	OAK	Good
58590	12' OAK	OAK	Good
58591	12' OAK	OAK	Good
58592	12' OAK	OAK	Good
58593	12' OAK	OAK	Good
58594	14' OAK	OAK	Good
58595	12' OAK	OAK	Good
58596	12' OAK	OAK	Good
58597	17' PINE	PINE	Good
58598	12' OAK	OAK	Good
58599	12' OAK	OAK	Good
58600	12' OAK	OAK	Good
58601	12' OAK	OAK	Good
58602	12' OAK	OAK	Good
58603	12' OAK	OAK	Good
58604	12' OAK	OAK	Good
58605	12' OAK	OAK	Good
58606	12' OAK	OAK	Good
58607	12' OAK	OAK	Good
58608	12' OAK	OAK	Good
58609	12' OAK	OAK	Good
58610	12' OAK	OAK	Good
58611	12' OAK	OAK	Good
58612	12' OAK	OAK	Good
58613	12' OAK	OAK	Good
58614	12' OAK	OAK	Good
58615	12' OAK	OAK	Good
58616	12' OAK	OAK	Good
58617	12' OAK	OAK	Good
58618	12' OAK	OAK	Good
58619	12' OAK	OAK	Good
58620	12' OAK	OAK	Good
58621	12' OAK	OAK	Good
58622	12' OAK	OAK	Good
58623	12' OAK	OAK	Good
58624	12' OAK	OAK	Good
58625	12' OAK	OAK	Good
58626	12' OAK	OAK	Good
58627	12' OAK	OAK	Good
58628	12' OAK	OAK	Good
58629	12' OAK	OAK	Good
58630	12' OAK	OAK	Good
58631	12' OAK	OAK	Good
58632	12' OAK	OAK	Good
58633	12' OAK	OAK	Good
58634	12' OAK	OAK	Good
58635	12' OAK	OAK	Good
58636	12' OAK	OAK	Good
58637	12' OAK	OAK	Good
58638	12' OAK	OAK	Good
58639	12' OAK	OAK	Good
58640	12' OAK	OAK	Good
58641	12' OAK	OAK	Good
58642	12' OAK	OAK	Good
58643	12' OAK	OAK	Good
58644	12' OAK	OAK	Good
58645	12' OAK	OAK	Good
58646	12' OAK	OAK	Good
58647	12' OAK	OAK	Good
58648	12' OAK	OAK	Good
58649	12' OAK	OAK	Good
58650	12' OAK	OAK	Good
58651	12' OAK	OAK	Good
58652	12' OAK	OAK	Good
58653	12' OAK	OAK	Good
58654	12' OAK	OAK	Good
58655	12' OAK	OAK	Good
58656	12' OAK	OAK	Good
58657	12' OAK	OAK	Good
58658	12' OAK	OAK	Good
58659	12' OAK	OAK	Good
58660	12' OAK	OAK	Good
58661	12' OAK	OAK	Good
58662	12' OAK	OAK	Good
58663	12' OAK	OAK	Good
58664	12' OAK	OAK	Good
58665	12' OAK	OAK	Good
58666	12' OAK	OAK	Good
58667	12' OAK	OAK	Good
58668	12' OAK	OAK	Good
58669	12' OAK	OAK	Good
58670	12' OAK	OAK	Good
58671	12' OAK	OAK	Good
58672	12' OAK	OAK	Good
58673	12' OAK	OAK	Good
58674	12' OAK	OAK	Good
58675	12' OAK	OAK	Good
58676	12' OAK	OAK	Good
58677	12' OAK	OAK	Good
58678	12' OAK	OAK	Good
58679	12' OAK	OAK	Good
58680	12' OAK	OAK	Good
58681	12' OAK	OAK	Good
58682	12' OAK	OAK	Good
58683	12' OAK	OAK	Good
58684	12' OAK	OAK	Good
58685	12' OAK	OAK	Good
58686	12' OAK	OAK	Good
58687	12' OAK	OAK	Good
58688	12' OAK	OAK	Good
58689	12' OAK	OAK	Good
58690	12' OAK	OAK	Good
58691	12' OAK	OAK	Good
58692	12' OAK	OAK	Good
58693	12' OAK	OAK	Good
58694	12' OAK	OAK	Good
58695	12' OAK	OAK	Good
58696	12' OAK	OAK	Good
58697	12' OAK	OAK	Good
58698	12' OAK	OAK	Good
58699	12' OAK	OAK	Good
58700	12' OAK	OAK	Good
58701	12' OAK	OAK	Good
58702	12' OAK	OAK	Good
58703	12' OAK	OAK	Good
58704	12' OAK	OAK	Good
58705	12' OAK	OAK	Good
58706	12' OAK	OAK	Good
58707	12' OAK	OAK	Good
58708	12' OAK	OAK	Good
58709	12' OAK	OAK	Good
58710	12' OAK	OAK	Good
58711	12' OAK	OAK	Good
58712	12' OAK	OAK	Good
58713	12' OAK	OAK	Good
58714	12' OAK	OAK	Good
58715	12' OAK	OAK	Good
58716	12' OAK	OAK	Good
58717	12' OAK	OAK	Good
58718	12' OAK	OAK	Good
58719	12' OAK	OAK	Good
58720	12' OAK	OAK	Good
58721	12' OAK	OAK	Good
58722	12' OAK	OAK	Good
58723	12' OAK	OAK	Good
58724	12' OAK	OAK	Good
58725	12' OAK	OAK	Good
58726	12' OAK	OAK	Good
58727	12' OAK	OAK	Good
58728	12' OAK	OAK	Good
58729	12' OAK	OAK	Good
58730	12' OAK	OAK	Good
58731	12' OAK	OAK	Good
58732	12' OAK	OAK	Good
58733	12' OAK	OAK	Good
58734	12' OAK	OAK	Good
58735	12' OAK	OAK	Good
58736	12' OAK	OAK	Good
58737	12' OAK	OAK	Good
58738	12' OAK	OAK	Good
58739	12' OAK	OAK	Good
58740	12' OAK	OAK	Good
58741	12' OAK	OAK	Good
58742	12' OAK	OAK	Good
58743	12' OAK	OAK	Good
58744	12' OAK	OAK	Good
58745	12' OAK	OAK	Good
58746	12' OAK	OAK	Good
58747	12' OAK	OAK	Good
58748	12' OAK	OAK	Good
58749	12' OAK	OAK	Good
58750	12' OAK	OAK	Good
58751	12' OAK	OAK	Good
58752	12' OAK	OAK	Good
58753	12' OAK	OAK	Good
58754	12' OAK	OAK	Good
58755	12' OAK	OAK	Good
58756	12' OAK	OAK	Good
58757	12' OAK	OAK	Good
58758	12' OAK	OAK	Good
58759	12' OAK	OAK	Good
58760	12' OAK	OAK	Good
58761	12' OAK	OAK	Good
58762	12' OAK	OAK	Good
58763	12' OAK	OAK	Good
58764	12' OAK	OAK	Good
58765	12' OAK	OAK	Good
58766	12' OAK	OAK	Good
58767	12' OAK	OAK	Good
58768	12' OAK	OAK	Good
58769	12' OAK	OAK	Good
58770	12' OAK	OAK	Good
58771	12' OAK	OAK	Good
58772	12' OAK	OAK	Good
58773	12' OAK	OAK	Good
58774	12' OAK	OAK	Good
58775	12' OAK	OAK	Good
58776	12' OAK	OAK	Good
58777	12' OAK	OAK	Good
58778	12' OAK	OAK	Good
58779	12' OAK	OAK	Good
58780	12' OAK	OAK	Good
58781	12' OAK	OAK	Good
58782	12' OAK	OAK	Good
58783	12' OAK	OAK	Good
58784	12' OAK	OAK	Good
58785	12' OAK	OAK	Good
58786	12' OAK	OAK	Good
58787	12' OAK	OAK	Good
58788	12' OAK	OAK	Good
58789	12' OAK	OAK	Good
58790	12' OAK	OAK	Good
58791	12' OAK	OAK	Good
58792	12' OAK	OAK	Good
58793	12' OAK	OAK	Good
58794	12' OAK	OAK	Good
58795	12' OAK	OAK	Good
58796	12' OAK	OAK	Good
58797	12' OAK	OAK	Good
58798	12' OAK	OAK	Good
58799	12' OAK	OAK	Good
58800	12' OAK	OAK	Good

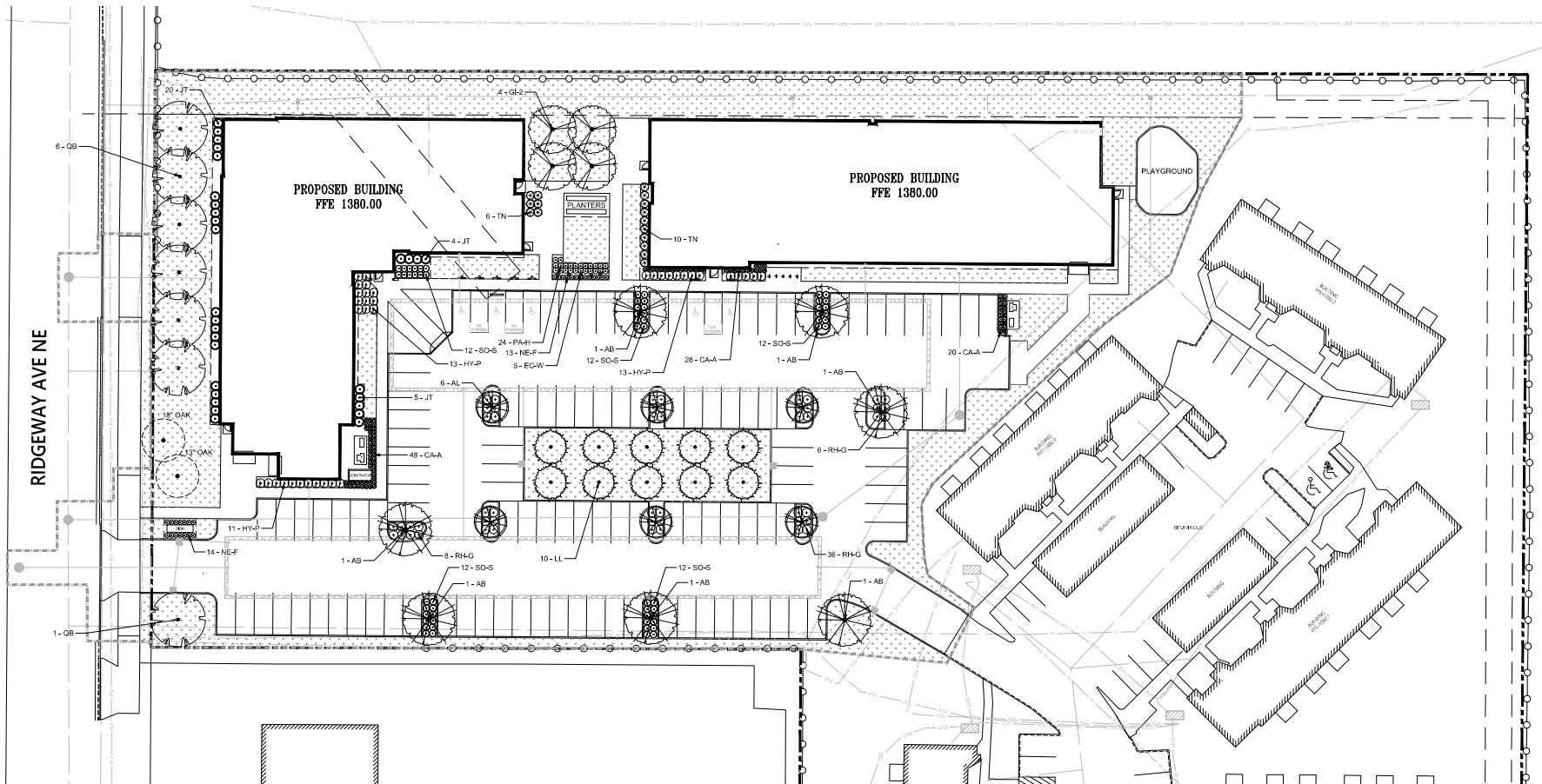
TREE INVENTORY

1. Tree inventory background information provided by Wisdeth.

TREE PRESERVATION

1. Tree protection fencing - - - - -



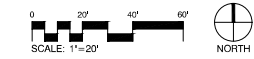


SITE AND LANDSCAPE NOTES

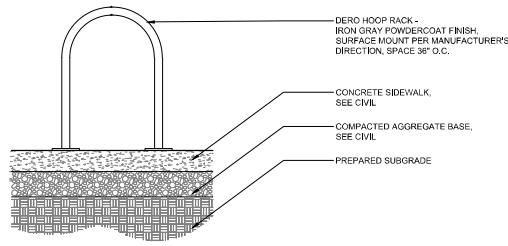
- PLANTING**
1. SPRING PLANT MATERIAL INSTALLATION IS FROM APRIL 15 TO JUNE 15.
 2. FALL CONIFEROUS PLANTING IS ACCEPTABLE FROM AUGUST 21 TO SEPTEMBER 30.
 3. FALL DECIDUOUS PLANTING IS ACCEPTABLE FROM AUGUST 15 UNTIL NOVEMBER 15.
 4. ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
 5. STAKE PROPOSED PLANTING LOCATIONS PER PLAN FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALL.
 6. PLANT MATERIAL SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, UNLESS NOTED OTHERWISE. DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3 FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACE.
 7. INSTALL PLANT MATERIAL AFTER FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 8. INSTALL PLANT MATERIALS PER PLANTING DETAILS.
 9. SUBSTITUTION REQUESTS FOR PLANT MATERIAL TYPE & SIZE SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION PRIOR TO BIDDING. SUBSTITUTIONS AFTER BIDDING MUST BE APPROVED BY LANDSCAPE ARCHITECT AND ARE SUBJECT TO CONTRACT ADJUSTMENTS.
 10. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
 11. FERTILIZE PLANT MATERIAL UPON INSTALLATION WITH DRIED BONE MEAL AND OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL (PER THE MANUFACTURER'S INSTRUCTIONS) OR TREAT FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 10-0-5 OF 12 OZ. PER 2.5" CALIPER TREE AND 6 OZ. PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-0-10 THE FOLLOWING SPRING IN THE TREE SAUCER.
 12. INSTALL 18" DEPTH OF PLANTING SOIL IN AREAS RECEIVING GROUND COVER, PERENNIALS, AND ANNUALS. PLANTING SOIL SHALL CONTAIN

- OF MHDOT 3877-B MODIFIED TO CONTAIN A MAXIMUM OF 30% SAND, A PH OF 7.1 MAX, OR AS OTHERWISE SPECIFIED IN THE PROJECT SPECIFICATIONS MANUAL.
13. TREE WRAPPING MATERIAL SHALL BE TWO-WALLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO FIRST BRANCH. WRAP SMOOTH-SKINNED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1.
 14. APPLY PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL) IN ANNUAL, PERENNIAL, AND SHRUB BEDS FOLLOWED BY SHREDDED HARDWOOD MULCH. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING USE OF HERBICIDES.
- MULCHING**
1. INSTALL 4" DEEP SHREDDED HARDWOOD MULCH RINGS AT CONIFEROUS & DECIDUOUS TREES WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.
 2. INSTALL 3" DEEP SHREDDED HARDWOOD MULCH RINGS AT SHRUB PLANTING AREAS WITH NO MULCH IN DIRECT CONTACT WITH SHRUB STEMS.
 3. INSTALL 3" DEEP FINELY SHREDDED MULCH IN PERENNIAL PLANTING BEDS. REMOVE ALL MULCH FROM STEMS OF PERENNIALS - PLANT STEMS SHOULD NOT BE IN DIRECT CONTACT WITH MULCH.
- WATERING**
1. PLANTED MATERIALS SHALL BE WATERED BY TEMPORARY MEANS UNTIL PLANTS ARE ESTABLISHED.
 2. TEMPORARY WATERING MEANS, METHODS, AND SCHEDULING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. REMOVE TEMPORARY WATERING EQUIPMENT UPON PLANT ESTABLISHMENT.
- WARRANTY**
1. WARRANTY NEW PLANT MATERIAL THROUGH (ONE) CALENDAR YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- TURF NOTES**
1. SOE AREAS DISTURBED DUE TO GRADING UNLESS NOTED OTHERWISE.
 2. WHERE SOE ABUTS PAVED SURFACES, FINISHED GRADE OF SOE SHOULD BE HELD 1" BELOW SURFACE OF TRAIL, SLAB, CURB, ETC.
 3. SOE SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE

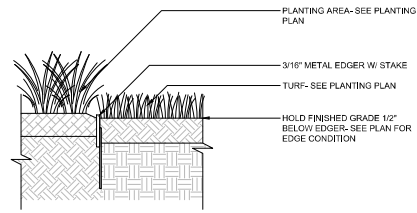
- STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOE SHALL BE STAKED SECURELY.
4. UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SPRING SEED & SOE PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
 5. FALL SODDING IS ACCEPTABLE FROM AUGUST 15 TO NOVEMBER 1. FALL SEEDING IS ACCEPTABLE FROM AUGUST 15 TO SEPTEMBER 15. ADJUSTMENTS TO SOE/SEED PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- IRRIGATION NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION THAT MEETS THE REQUIREMENTS OF THE PROVIDED PERFORMANCE SPECIFICATION AS PART OF THE SCOPE OF WORK. SUBMIT LAYOUT PLAN AND SPECIFICATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
 2. CONTRACTOR SHALL FIELD VERIFY WATER SUPPLY, VOLUME, PRESSURE AND LOCATION FOR SYSTEM TAP PRIOR TO SYSTEM DESIGN.
 3. CONTRACTOR SHALL CONFIRM COMPLETE LIMITS OF IRRIGATION WITH LANDSCAPE ARCHITECT PRIOR TO SUPPLYING SHOP DRAWINGS.
 4. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF AREAS RECEIVING DRIP IRRIGATION PRIOR TO INSTALLATION OF MULCH.
 5. CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH AS-BUILT DRAWINGS, DETAILED SYSTEM OPERATION INSTRUCTIONS AND AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND PLANTED MATERIAL GROWTH REQUIREMENTS.
 6. IRRIGATION SYSTEM SHALL BE DESIGNED SO THAT NO WATER DIRECTED TOWARDS OR IS IN CONTACT WITH VERTICAL HardsCAPE AND/OR STRUCTURES.



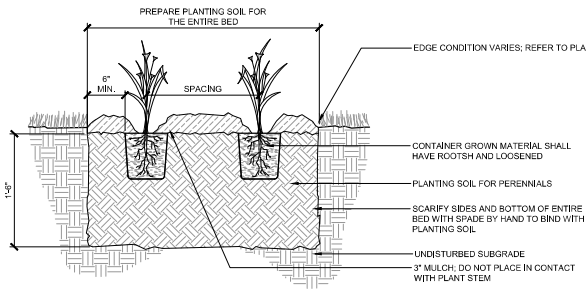
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	NOTES	SPACING	REMARKS
DECIDUOUS TREES								
	AL	1	ACER RUBRUM 'ARMSTRONG' ARMSTRONG MAPLE	2 1/2"	686			
	AB	7	ACER X FRAXINUS 'BILSTON VATAFOR' PRIDEWAY MAPLE	2 1/2"	686			
	HR	1	QUERCUS TRICANTHOS 'NEMES' SKYCOLE TV SCOTCH THORNLESS HONEY LOCUST	2 1/2"	646			
	LL	10	LARIX LARicina TAMARACK	2"	686			
	OB	7	QUERCUS BRICOLOR SWAMP WHITE OAK	2 1/2"	686			
DECIDUOUS SHRUBS								
	HY	17	HYDRANGEA LYONNETA 'JANE' HYDRANGEA	#5	POT	SPACE 4'-0" O.C.	48"	66
	HY	50	HYDRANGEA LYONNETA 'JANE' HYDRANGEA	#5	CONT.	SPACE 4'-0" O.C.	48"	66
	SH	10	SHRUB HYDRANGEA 'JANE' HYDRANGEA	#5	POT	SPACE 3'-0" O.C.	24"	66
EVERGREEN SHRUBS								
	PI	26	PIRULARIA FRONSINENSIS 'YUKON' PIRULARIA	#5	CONT.	SPACE 4'-0" O.C.	48"	66
	PI	26	PIRULARIA FRONSINENSIS 'YUKON' PIRULARIA	#5	CONT.	SPACE 4'-0" O.C.	48"	66
GRASSES								
	CA	20	CALAMAGROSTIS X DACTYLOGLA RAIL GRASS	#1	CONT.	PLANT AS SHOWN ON PLAN	36"	66
	PA	24	PERENNIAL RYEGRASS 'HEAVY METAL' RYEGRASS	#1	POT	SPACE 2'-0" O.C.	24"	66
PERENNIALS								
	EC	2	ERIGONIA FILIFLORA 'THE SWAN' ERIGONIA	#1	POT	SPACE 1'-0" O.C.	18"	66
	NE	27	NERITA FLORENS 'WINDERS LOW' WINDERS	#1	POT	SPACE 2'-0" O.C.	24"	66
GROUND COVERS								
	TR	31,039 SF	TURF SOE (GRASS) 4-1/2" SOE (GRASS)		SOE			



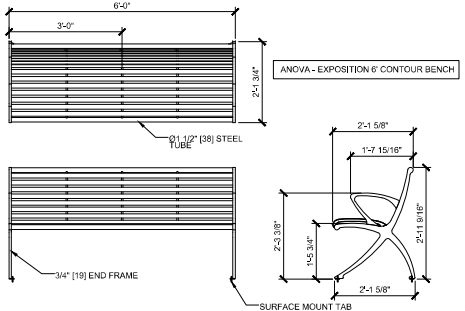
6 BIKE RACK, SURFACE MOUNT
1" = 1'-0"



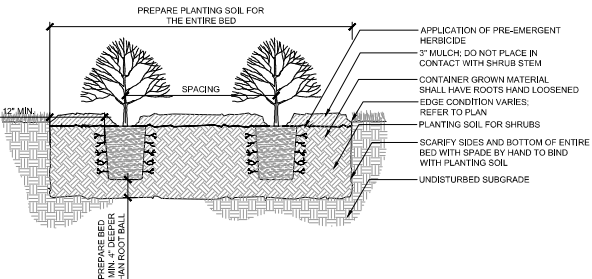
5 DETAIL - STEEL EDGER
1 1/2" = 1'-0"



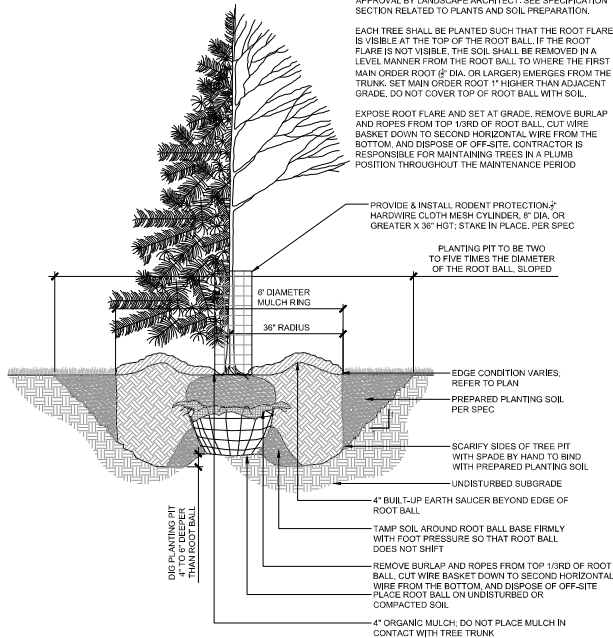
4 DETAIL - PERENNIAL PLANTING
1 1/2" = 1'-0"



7 ELEVATION/PLAN - SITE BENCH
3/4" = 1'-0"

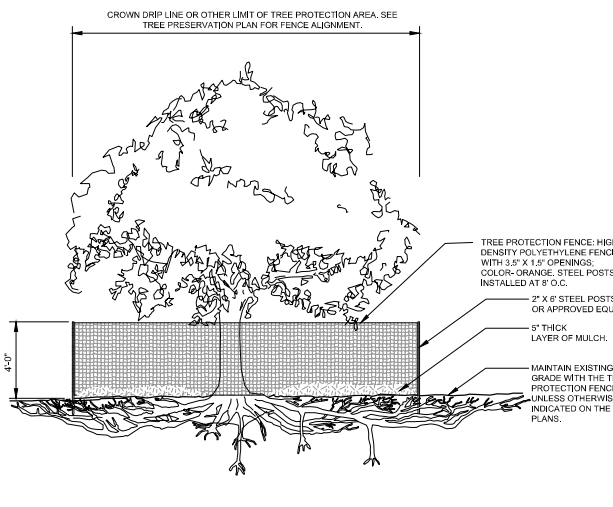


3 DETAIL - SHRUB PLANTING
1" = 1'-0"



2 DETAIL - TREE PLANTING
3/4" = 1'-0"

- NOTES:
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.

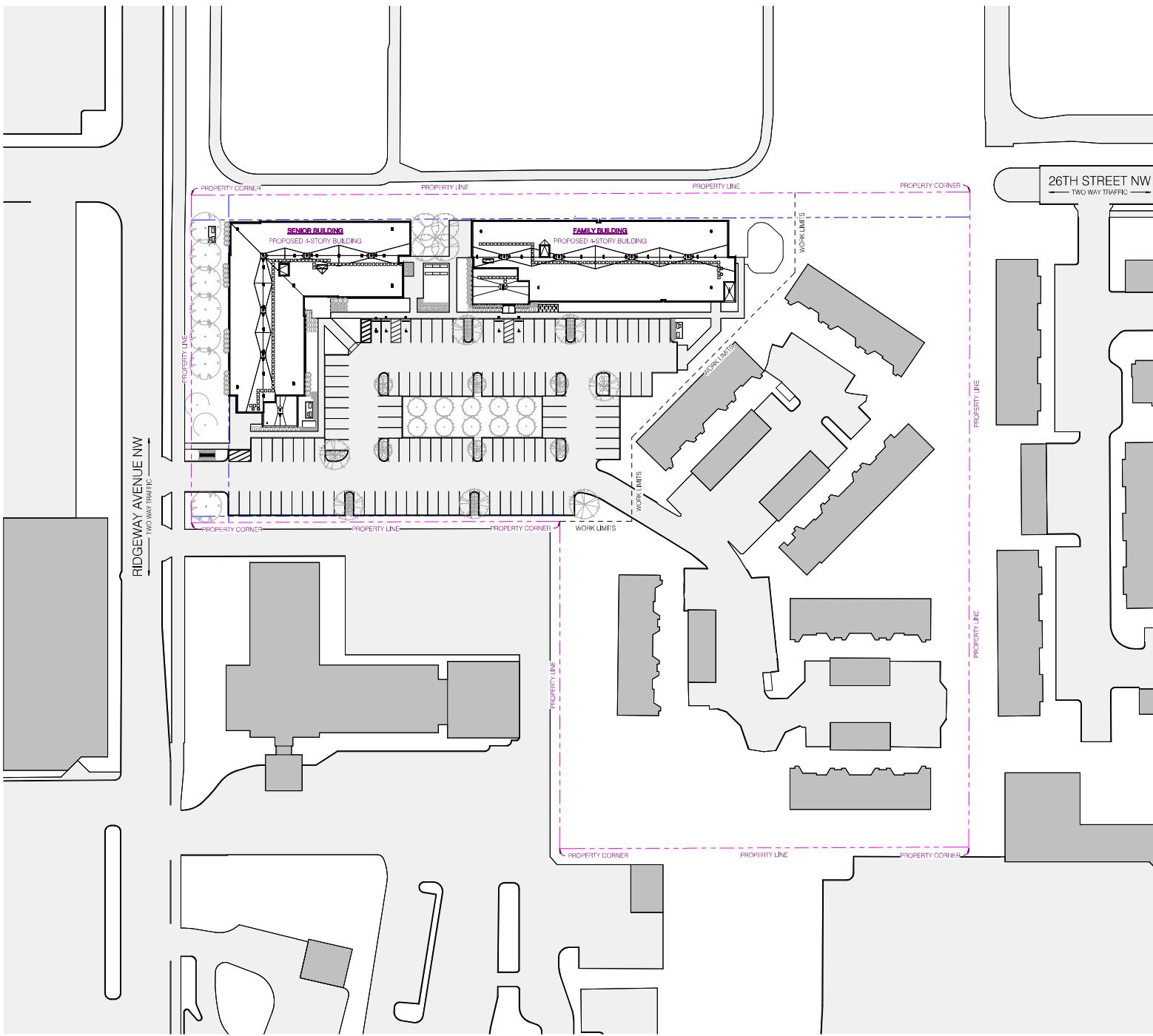


1 TREE PROTECTION FENCING
3/8" = 1'-0"

NOTE:
CONTRACTOR TO WRAP TREE TRUNKS ONLY UPON APPROVAL BY LANDSCAPE ARCHITECT. SEE SPECIFICATION SECTION RELATED TO PLANTS AND SOIL PREPARATION.

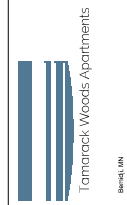
EACH TREE SHALL BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. IF THE ROOT FLARE IS NOT VISIBLE, THE SOIL SHALL BE REMOVED IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE FIRST MAIN ORDER ROOT (2" DIA. OR LARGER) EMERGES FROM THE TRUNK. SET MAIN ORDER ROOT 1" HIGHER THAN ADJACENT GRADE. DO NOT COVER TOP OF ROOT BALL WITH SOIL.

EXPOSE ROOT FLARE AND SET AT GRADE. REMOVE BURLAP AND ROPES FROM TOP 1/3RD OF ROOT BALL. CUT WIRE BASKET DOWN TO SECOND HORIZONTAL WIRE FROM THE BOTTOM, AND DISPOSE OF OFF-SITE. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE MAINTENANCE PERIOD.



GENERAL SITE NOTES

1. DIMENSIONS ARE TO COLUMN GRIDS UNLESS OTHERWISE NOTED.
2. SITE NOTES AND FEATURES ARE SHOWN FOR REFERENCE ONLY. REFER TO ON-LAND LANDSCAPE FOR MORE INFORMATION.



URBANWORKS
 URBANWORKS ARCHITECTURE LLC 2025
 501 FORTTH THIRD STREET, SUITE 100, MINNETONKA, MN 55018

CONSULTANT

PRELIMINARY
NOT FOR CONSTRUCTION

CONDITIONAL USE PERMIT
 1031-5275

REVISIONS

KEYPLAN

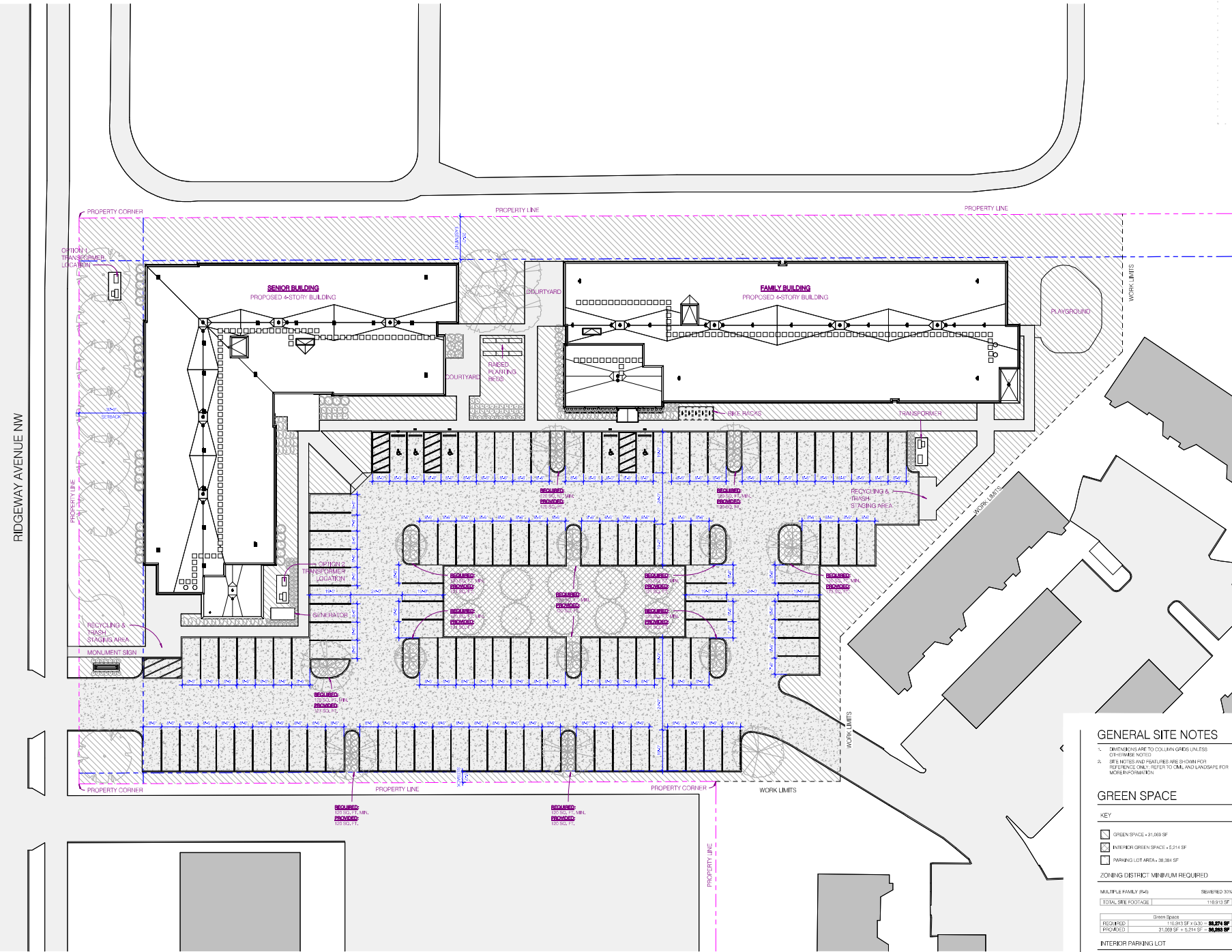
DATE	10/10/2025
PROJECT #	24-018
PHASE	CLIP
DRAWN BY	GA/BS
CHECKED BY	SB

OVERALL ARCHITECTURAL SITE PLAN

AL100

1 OVERALL ARCHITECTURAL SITE PLAN
 AL100 1" = 30'





GENERAL SITE NOTES

1. DIMENSIONS ARE TO COLUMN GRIDS UNLESS OTHERWISE NOTED
2. REFERENCE TO DIMENSIONS AND FEATURES ARE SHOWN FOR REFERENCE ONLY. REFER TO CML AND LANDSCAPE FOR MORE INFORMATION.

GREEN SPACE

KEY

- GREEN SPACE - 31,069 SF
- INTERIOR GREEN SPACE - 5,214 SF
- PARKING LOT AREA - 38,384 SF

ZONING DISTRICT MINIMUM REQUIRED

MULTIPLE FAMILY (MF)	REQUIRED 30%
TOTAL SITE FOOTAGE	110,913 SF

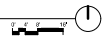
REQUIRED	Green Space	110,913 SF x 0.30 =	33,274 SF
PROVIDED	31,069 SF + 5,214 SF =		36,283 SF

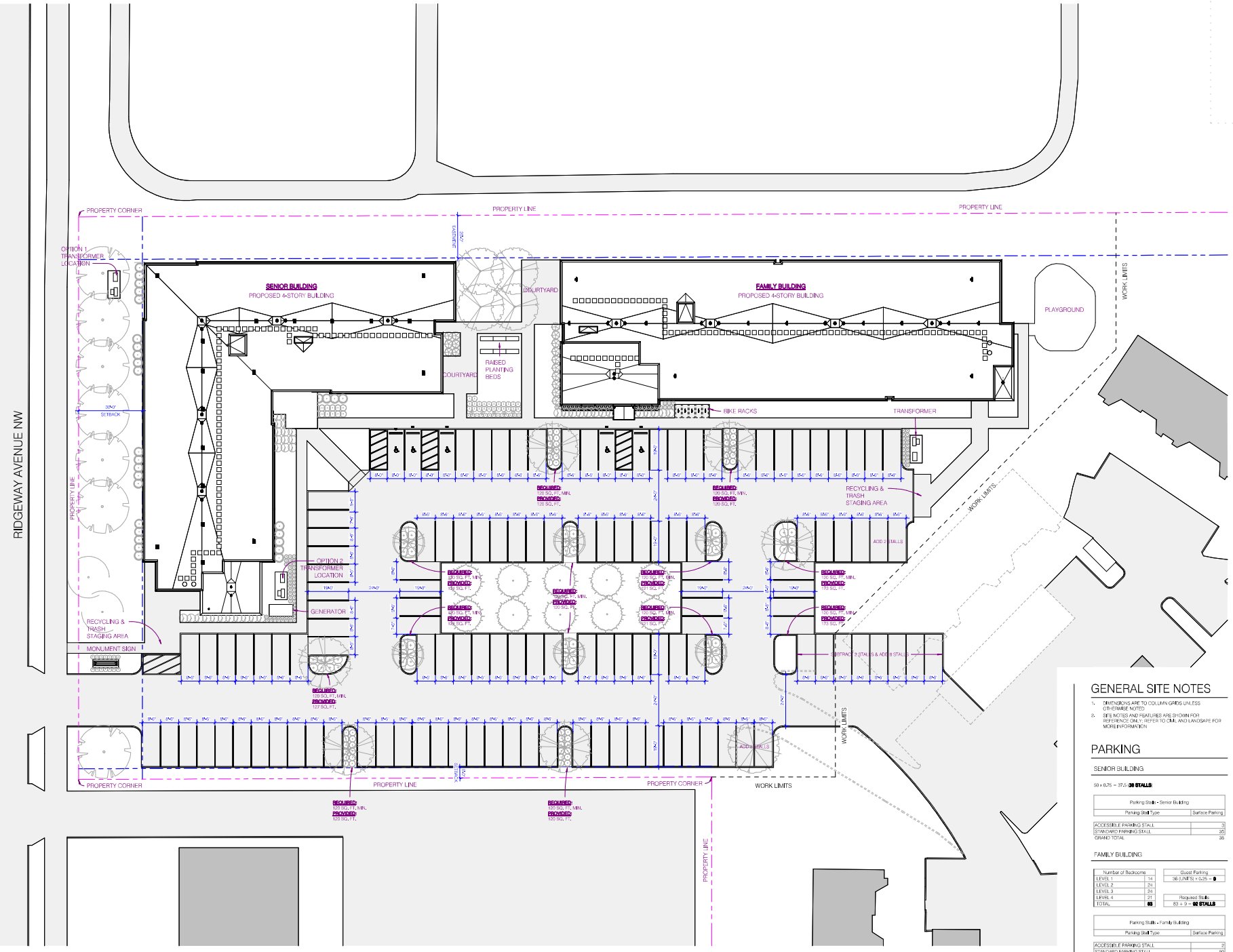
INTERIOR PARKING LOT

Total Number of Parking Spots	Required Interior Green Space
174	17%

REQUIRED	Green Space	38,384 SF x 0.06 =	2,303 SF
PROVIDED			6,814 SF

1 ENLARGED ARCHITECTURAL SITE PLAN
AL101 1/16" = 1/4"





GENERAL SITE NOTES

1. DIMENSIONS ARE TO COLUMN GRIDS UNLESS OTHERWISE NOTED
2. SITE NOTES AND FEATURES ARE SHOWN FOR REFERENCE ONLY. REFER TO CDM AND LANDUSE FOR MORE INFORMATION

PARKING

SENIOR BUILDING
54 x 0.75 = 37.5 **38 STALLS**

Parking Sub - Senior Building	
Parking Stall Type	Surface Parking
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	35
GRAND TOTAL	38

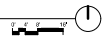
FAMILY BUILDING

Number of Buildings	1	Guest Parking	
LEVEL 1	143	58 (MIN) + 125	178
LEVEL 2	251		
LEVEL 3	241		
LEVEL 4	221	Required Stalls	
TOTAL	856	83 + 9 = 92 STALLS	

Parking Sub - Family Building	
Parking Stall Type	Surface Parking
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	89
GRAND TOTAL	92

Roof of Parking	2
STANDARD STANDARD PARKING STALLS	12
ACCESSIBLE PARKING STALLS	12
GRAND TOTAL	14

1 ENLARGED ARCHITECTURAL SITE PLAN
AL102 1/16" = 1/4"



GENERAL EXTERIOR NOTES:

1. REFER TO GDS FOR EXTERIOR SYSTEM AND MATERIAL INFORMATION
2. REFER TO SPECIFICATION FOR DETAILED EXTERIOR MATERIAL INFORMATION

KEYNOTES:

K01	PREFINISHED CEMENT PANEL SYSTEM - COLOR: METAL - WHITE BY HANCO
K02	PREFINISHED CEMENT PANEL SYSTEM - COLOR: METAL - BLACK BY HANCO
K03	PREFINISHED CEMENT SHALE SYSTEM - COLOR: COUNTRY - WHITE BY HANCO
K04	PREFINISHED CEMENT SHALE SYSTEM - COLOR: COUNTRY - BLACK BY HANCO
K05	PREFINISHED CEMENT SHALE SYSTEM - COLOR: COUNTRY - TERRAZZO BY HANCO
K06	PREFINISHED CEMENT SHALE SYSTEM - COLOR: TERRAZZO - COUNTRY - COUNTRY CERAMIC
K07	PREFINISHED CEMENT SHALE SYSTEM - COLOR: TERRAZZO - COUNTRY - COUNTRY CERAMIC
K08	MECHANICAL INSULATION SYSTEM - COLOR: MATCH ADJACENT WALL MATERIAL
K09	PREFINISHED METAL CORNER - BLACK
K10	PREFINISHED METAL WALL CAP FLASHING - BLACK
K11	ALUMINUM STOREFRONT SYSTEM
K12	ALUMINUM ENTRY DOOR SYSTEM
K13	EXTERIOR HOLLOW METAL DOOR - FINISHED
K14	FINISH AND FINISH SYSTEM - FINISH AND FINISH COMPRESSION FLASHING
K15	EXTERIOR GARAGE DOOR
K16	PREFINISHED ALUMINUM CURB - BLACK
K17	PREFINISHED ALUMINUM SHIELD SYSTEM - BLACK
K18	VERTICAL WALL CLADDING - WOOD BY MACCOLOR SCANDINAVIAN



URBANWORKS

CONSULTANT

PRELIMINARY
NOT FOR CONSTRUCTION

CONDITIONAL USE PERMIT
1031-5075

REVISIONS

KEYPLAN

DATE: 10/10/2020
PROJECT #: 200218
PHASE: CLIP
DRAWN BY: [Name]
CHECKED BY: [Name]

BUILDING ELEVATIONS - SENIOR BUILDING - AREA 1

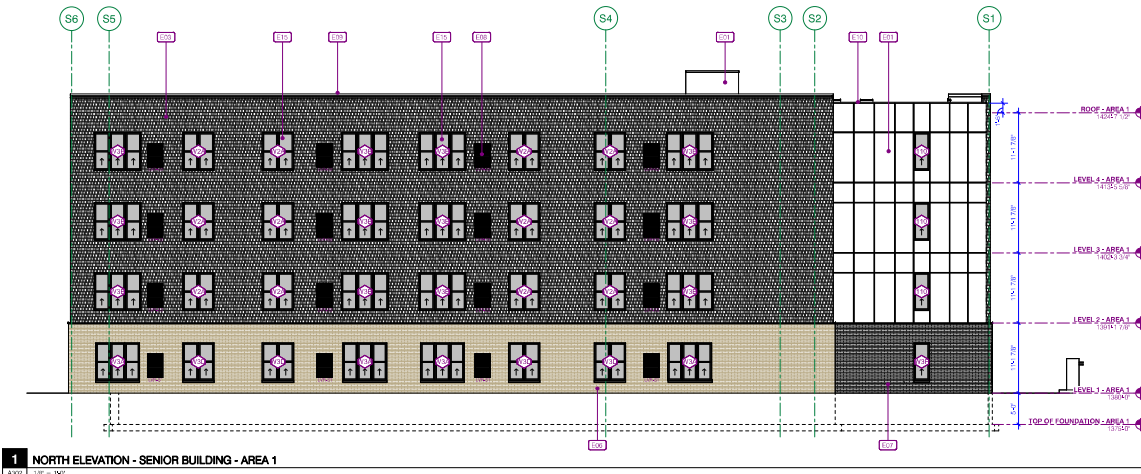
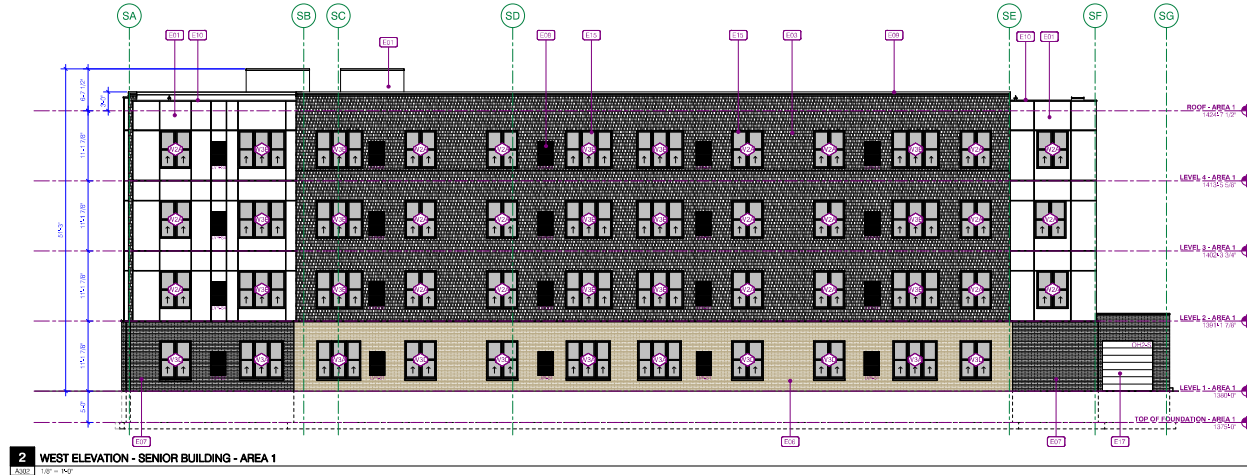
A301

GENERAL EXTERIOR NOTES:

1. REFER TO GC'S FOR EXTERIOR SYSTEM AND MATERIAL INFORMATION
2. REFER TO SPECIFICATION FOR DEVELOPED EXTERIOR MATERIAL INFORMATION

KEYNOTES:

K01	PURE CEMENT PANEL SYSTEM - COLOR: METAL WHITE BY HANDE
K02	PURE CEMENT PANEL SYSTEM - COLOR: METAL BLACK BY HANDE
K03	PURE CEMENT SHAVE SYSTEM - COLOR: COUNTRY ANO BY HANDE
K04	PURE CEMENT SHAVE SYSTEM - COLOR: DUFF OCCAZ BY HANDE
K05	PURE CEMENT SHAVE SYSTEM - COLOR: TERRACOTTA COLOR BY HANDE
K06	PURE CEMENT SHAVE SYSTEM - COLOR: METAL WHITE BY HANDE
K07	PURE CEMENT SHAVE SYSTEM - COLOR: METAL WHITE BY HANDE
K08	MECHANICAL STOP SYSTEM - COLOR: MATCH ADJACENT WALL MATERIAL
K09	PREFINISHED METAL CORNER - BLACK
K10	PREFINISHED METAL WALL CAP - BLACK
K11	ALUMINUM STOREFRONT SYSTEM
K12	ALUMINUM SHUT DOOR SYSTEM
K13	EXTERIOR HOLLOW METAL DOOR - PRIME
K14	MECHANICAL STOP SYSTEM - METAL COMPRESSIVE PLASTER
K15	EXTERIOR GARAGE DOOR
K16	PREFINISHED ALUMINUM CURB - BLACK
K17	PREFINISHED ALUMINUM SHUT SYSTEM - BLACK
K18	VERTICAL METAL FINISH WOOD BY MACCOLOR SCANDINAVIAN



URBANWORKS

CONSULTANT
 PRELIMINARY
NOT FOR CONSTRUCTION

CONDITIONAL USE PERMIT
 1031-5075

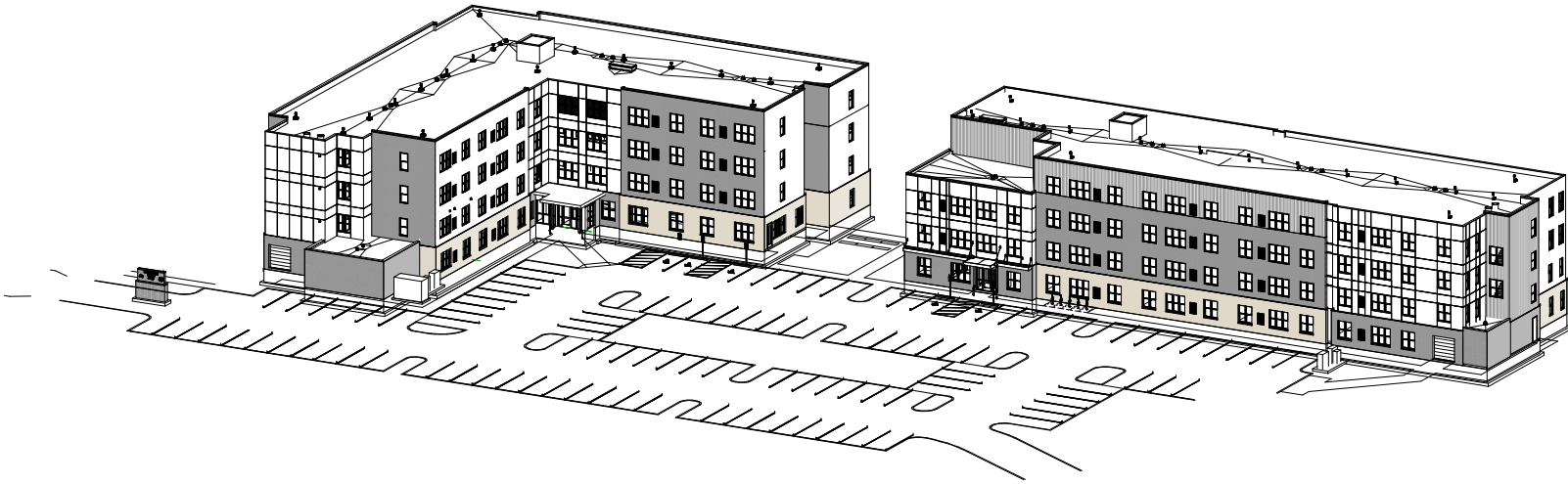
REVISIONS

KEYPLAN

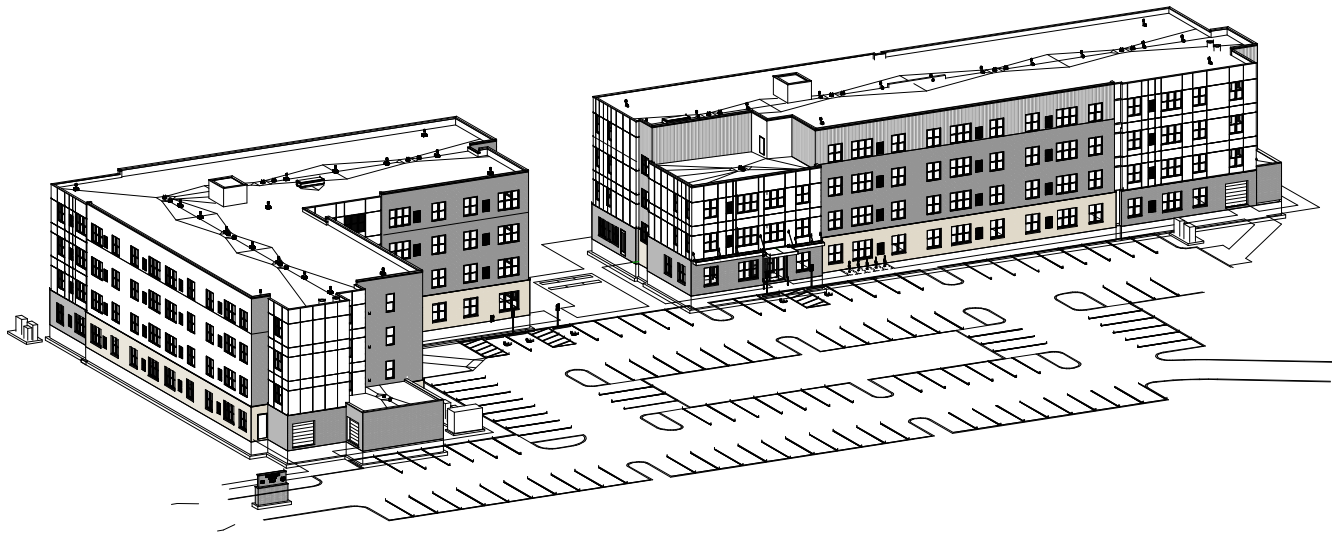
DATE: 10/10/2025
 PROJECT #: 2025-18
 PHASE: CLIP
 DRAWN BY: ENCD
 CHECKED BY:

BUILDING ELEVATIONS - SENIOR BUILDING - AREA 1

A302

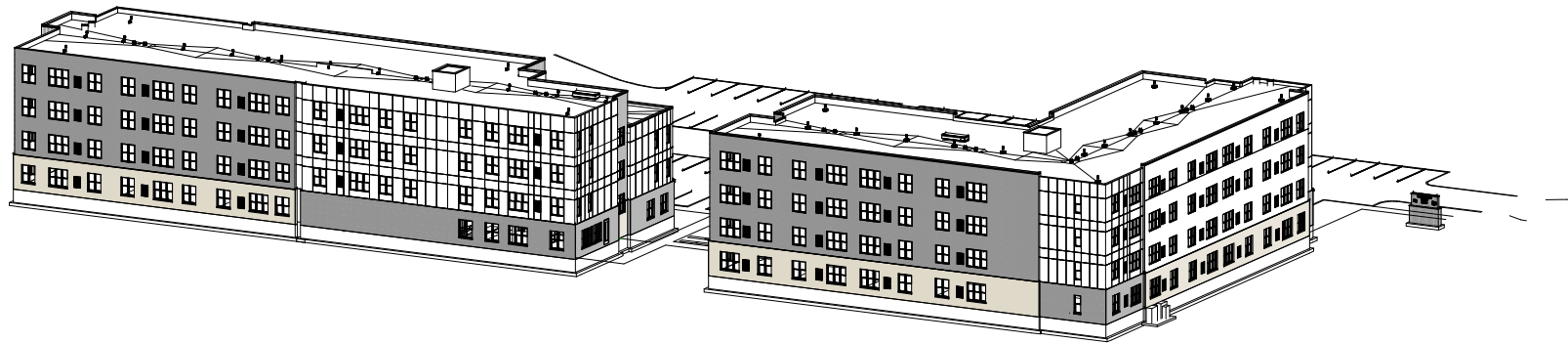


2 SOUTHEAST AXON - OVERALL
A351



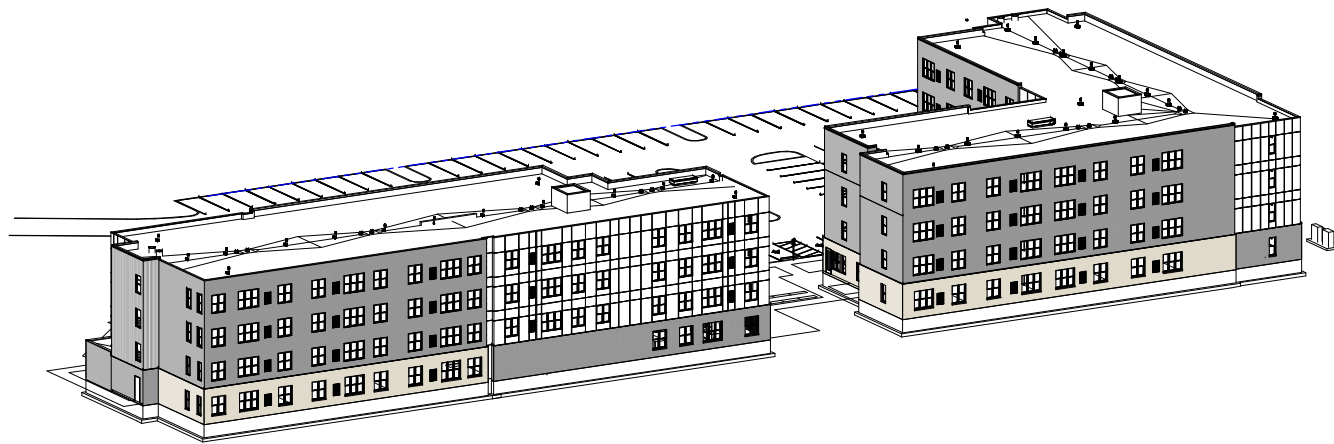
1 SOUTHWEST AXON - OVERALL
A351

C:\Users\jpherson\Documents\24018\A351\Drawings\A351\A351.dwg, 10/10/2025 11:15:13 AM



2 NORTHWEST AXON - OVERALL

A352



1 NORTHEAST AXON - OVERALL

A352

CONSULTANT

PRELIMINARY
**NOT FOR
CONSTRUCTION**

CONDITIONAL USE PERMIT
1031-5275

REVISIONS

KEYPLAN

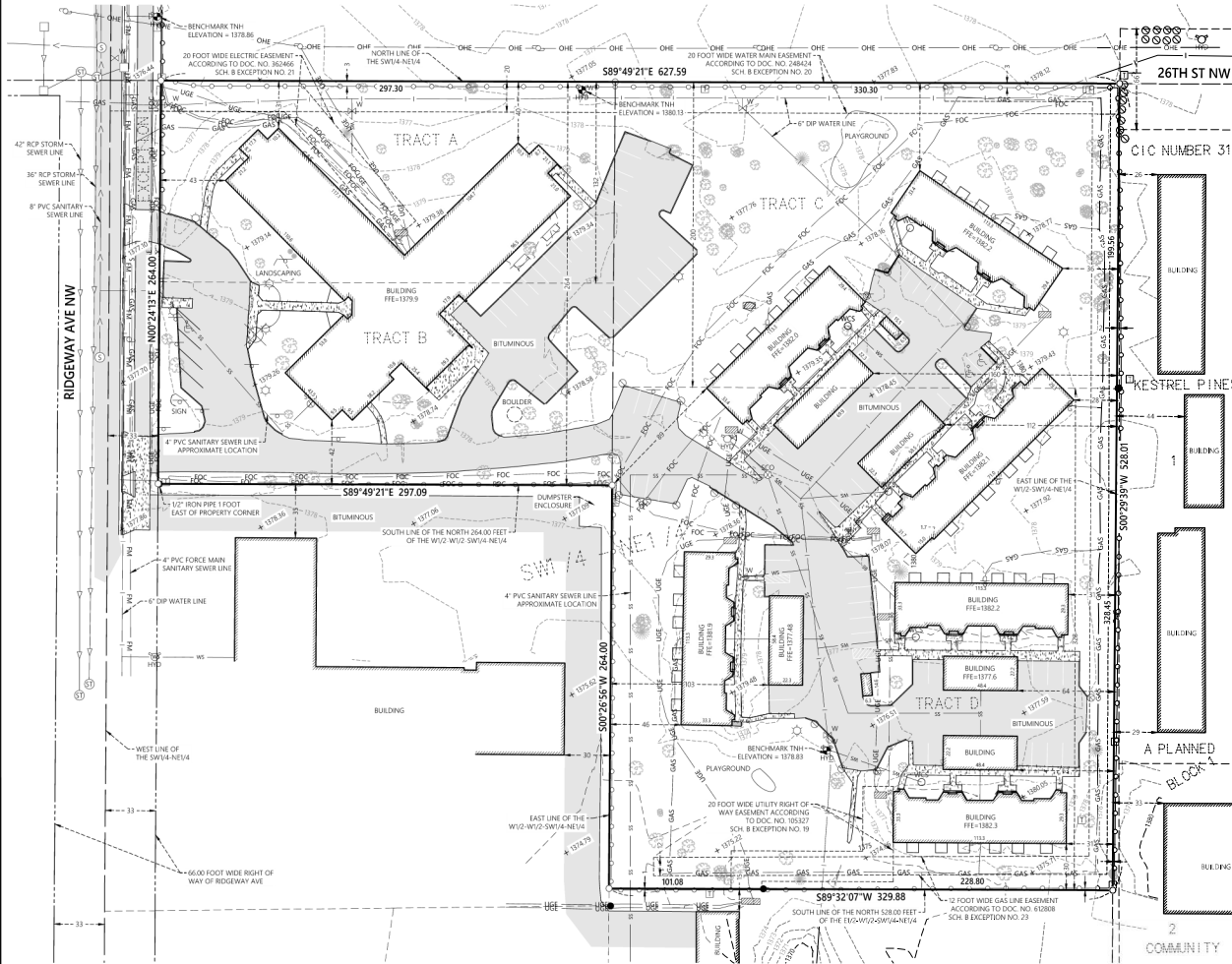
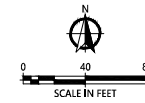
DATE: 10/10/2025
PROJECT #: 24-018
PHASE: CLIP
DRAWN BY: [blank]
CHECKED BY: [blank]

**BUILDING
AXONOMETRIC
VIEW**

C:\Users\jphanson\Documents\24018\24018_A352_Clip\A352_Clip.dwg, 10/10/2025 11:16:17 PM

ALTA / NSPS LAND TITLE SURVEY

PART OF THE SW1/4 OF THE NE 1/4,
SECTION 5, TOWNSHIP 146, RANGE 33,
BELTRAMI COUNTY, MINNESOTA



- ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE BELTRAMI COUNTY COORDINATE DATABASE NAD83
- ELEVATIONS BASED ON NAVD88 VERTICAL DATUM BENCHMARK TOP NUT HYDRANT NEAR NW CORNER OF THE PROPERTY. ELEVATION = 1378.86 FEET
- DENOTES FOUND IRON MONUMENT
 - DENOTES 1/2 INCH DIAMETER BY 18 INCH LONG IRON PIPE SET AND MARKED BY RLS #60122
 - TREE - CONIFER
 - TREE - DECIDUOUS
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - CURB & GUTTER
 - FENCE POST
 - ✕ MAILBOX
 - SIGN - SINGLE
 - CURB STOP
 - WATER MAIN VALVE
 - STORM SEWER MANHOLE
 - WATER MAIN PIPE
 - FENCE - CHAINLINK
 - TELECOM PEDESTAL
 - FOC UNDERGROUND FIBER OPTIC CABLE
 - LIGHT POLE
 - TRANSFORMER
 - UNDERGROUND ELECTRIC WIRE
 - NATURAL GAS METER
 - NATURAL GAS MAIN PIPE
 - CLEANOUT
 - SANITARY SEWER MANHOLE
 - FM FORCE MAIN PIPE
 - GRAVITY MAIN PIPE

SURVEYOR'S TABLE A NOTES:

1. MONUMENTS HAVE BEEN FOUND OR SET AS SHOWN.
2. THE ADDRESS FOR THE SUBJECT PROPERTY ACCORDING TO THE BELTRAMI COUNTY INTERACTIVE MAPPING IS 2599 RIDGEWAY AVE NW BEMIDJI, MINNESOTA 56601.
3. ACCORDING TO THE FEMA COMMUNITY STATUS BOOK REPORT, THE CITY OF BEMIDJI CURRENTLY FALLS WITHIN NO SPECIAL FLOOD HAZARD AREA (ZONE C NSHA).
4. THE SUBJECT PROPERTY AREA = 5,802 ACRES.
5. VERTICAL RELIEF CONTOURS ARE SHOWN. VERTICAL DATUM AND BENCHMARK LISTED IN THE LEGEND.
6. THERE WAS NO ZONING REPORT OR LETTER PROVIDED AT THE TIME OF THE SURVEY, ACCORDING TO THE CITY OF BEMIDJI ZONING MAP THE SUBJECT PROPERTY IS CURRENTLY LOCATED IN THE MULTIPLE FAMILY (RM) ZONING DISTRICT. SETBACKS ACCORDING TO THE CITY OF BEMIDJI ASSISTANT PLANNERS ARE AS FOLLOWS:
FRONT = 30 FEET REAR = 30 FEET
SIDE = 7.5 FEET (PLUS 1 FOOT FOR EVERY FOOT A BUILDING IS TALLER THAN 40 FEET IN HEIGHT)
MAX BUILDING HEIGHT = 50 FEET
7. PARTIAL EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL ARE AS SHOWN. SEE BUILDING PLANS FOR GREATER DETAIL.
8. SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD SURVEY ARE AS SHOWN.
9. PARKING STRIPES ARE AS SHOWN.
PARKING SPACES = 79 HANDICAP PARKING SPACES = 3
10. THERE WERE NO KNOWN DIVISION OR PARTY WALLS OBSERVED DURING THE PROCESS OF THIS SURVEY.
11. UNDERGROUND UTILITIES ACCORDING TO DODPHER STATE ONE CALL LOCATE NO. 252191004, TOGETHER WITH CITY OF BEMIDJI PUBLIC UTILITY MAPPING AND GIS APPLICATIONS AND MAGNER PLUMBING UTILITY SKETCHES PROVIDED, FURTHER INSPECTION/VERIFICATION IS RECOMMENDED PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
12. THERE WERE NO PLOTTABLE OFFSITE (APPURTENANT) EASEMENTS OBSERVED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR.

SURVEYOR'S CERTIFICATE

To: Chicago Title Insurance Company and Red Pine Estates II, LLLP, a Minnesota Limited Liability partnership.
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-6, 7(a), 8-11, and 18 of table "A" thereof. The field work was completed August 13, 2025.
Date of plat or Map: October 22, 2025
Tyler Pogreba
Tyler J. Pogreba, Minnesota License No. 60122

Chicago Title Insurance Company's Commitment No. CP73889, Effective Date July 25, 2025 as listed was relied upon for matters of record. Other easements or exceptions may exist that were not shown in this commitment and are not shown on this survey.

SURVEYOR'S SCHEDULE B TITLE RESPONSES:

- ACCORDING TO CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. CP73889 Effective Date: JULY 25, 2025:
1. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 2. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 3. RESPONSE: THERE WERE NO ENCUMBRANCES, VIOLATIONS, VARIATIONS, OR ADVERSE CIRCUMSTANCES AFFECT THE TITLE OBSERVED BY THE SURVEYOR DURING THE PROCESS OF THIS SURVEY.
 4. RESPONSE: EASEMENTS SHOWN ARE ACCORDING TO CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. CP73889.
 5. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 6. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 7. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 8. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 9. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 10. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 11. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 12. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 13. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 14. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 15. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 16. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 17. RESPONSE: NOT A PLOTTABLE MATTER OF SURVEY.
 18. RESPONSE: ELECTRIC RIGHT OF WAY EASEMENT DOC. NO. 484843 IS DESCRIBED EAST OF THE SUBJECT PROPERTY AND THEREFORE DOES NOT AFFECT THE SUBJECT PROPERTY.
 19. RESPONSE: UTILITY RIGHT OF WAY EASEMENT DOC. NO. 103237 IS AS SHOWN.
 20. RESPONSE: WATER MAIN EASEMENT DOC. NO. 284444 IS AS SHOWN.
 21. RESPONSE: UTILITY RIGHT OF WAY EASEMENT DOC. NO. 36498 IS AS SHOWN.
 22. RESPONSE: THE PERMANENT EASEMENT LOCATION OF THE SANITARY EASEMENT DOC. NO. 292902 LIES WESTERLY IN A PORTION OF LAND THAT IS EXCEPTED FROM THE SUBJECT PROPERTY AND THEREFORE DOES NOT AFFECT THE SUBJECT PROPERTY.
 23. RESPONSE: GAS LINE EASEMENT DOC. NO. 400612088 IS AS SHOWN.
 24. RESPONSE: BEMIDJI REGIONAL AIRPORT ZONING ORDINANCE DOC. NO. 000624715, DOES NOT HAVE ANY PLOTTABLE MATTERS OF SURVEY FOR PROPERTIES LYING WITHIN AIRPORT ZONE 3 OVERLAY.

LEGAL DESCRIPTION: ACCORDING TO CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. CP73889, Effective Date: JULY 25, 2025:

- Tract A: The North 132 feet of the West Half of the West Half of the Southwest Quarter of the Northeast Quarter, Section 5, Township 146 North, Range 33 West, except the West 33.00 feet thereof.
- Tract B: The South 132 feet of the North 264 feet of the West Half of the West Half of the Southwest Quarter of the Northeast Quarter, Section 5, Township 146 North, Range 33 West, except the West 33.00 feet thereof.
- Tract C: The North 200 feet of the that part of the East Half of the West Half of the Southwest Quarter of the Northeast Quarter, Section 5, Township 146, Range 33, which lies North of State Trunk Highway No. 2.
- Tract D: The South 328 feet of the North 628 feet of the East Half of the West Half of the Southwest Quarter of the Northeast Quarter, Section 5, Township 146, Range 33.

SURVEYOR'S NOTES:
THE PIN FOR THE SUBJECT PROPERTY IS 800008300.

FOR THE PURPOSES OF THIS SURVEY A WETLAND DELINEATION WAS NEITHER REQUESTED NOR PERFORMED.



DRAWN BY: TJP
CHECKED BY: CMC

DATE	AMENDMENT DESCRIPTION	PREPARED FOR:

VICINITY MAP
SECTION 5, TOWNSHIP 146, RANGE 33,
BELTRAMI COUNTY, MINNESOTA
(SCALE = 1"=1500')



RED PINE ESTATES II, LLLP

PROJECT #: 2025-11329

Tamarack Woods Apartments

Project Description:

The proposed project, located at 2590 Ridgeway Ave. NW on the site of the former Red Pine Estates, consists of two new construction buildings to replace the apartment buildings and townhomes currently located on the site. The first building is a 50-unit senior housing building including a community room, library, fitness, individual storage units, and outdoor patio space. The units are a mix of 1 and 2 bedrooms, and include universal design features which provide a higher level of accessibility.

The second building on the site is a 36-unit family housing building with a combination of 2 and 3 bedrooms to accommodate families. This building also includes a community room, individual storage units, and office space for management and supportive housing staff.

The site design includes surface parking stalls and allows for the completion of the new construction buildings prior to the demolition of the townhomes, allowing residents to move to the new buildings. In addition, a new playground, shared outdoor patio, and stormwater management system are planned for the new construction.

The project is following the Green Communities design standards as amended by MN Housing, which focus on practical sustainable design strategies that both address energy efficiency, occupant comfort, and long-term operational costs that benefit owner, resident, and the community. Some of the strategies include a focus on a tight building envelope and unit-to-unit air testing, increased efficiency of unit mechanical units, and low-VOC finishes throughout the building.

Construction is anticipated to begin in Spring of 2026 and be complete the following year in the summer of 2027.



Planning and Zoning Department
City of Bemidji

317 4th Street NW Bemidji, MN 56601 Office (218) 759-3579 Fax (218) 759-3591

November 5, 2025

SUP-2025-0012: - Greg Johnson representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 29 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 800008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

The City of Bemidji Planning and Zoning Commission will consider this proposal at its meeting on **Thursday, November 20th, 2025, at 5:30 p.m.** in the Council Chambers at Bemidji City Hall and may be viewed on local Channel 2.

If you have any comments, you may present them to the Commission at that time. It would be encouraged to direct your comments in writing to the Planning and Zoning Planner assigned to the Case, **Jamin Carlson's** attention at the Planning office at 317 4th Street NW, or by email at **SGAdmin@ci.bemidji.mn.us**. If possible, your comments should be submitted by **Friday, November 14th, 2025**, so they may be incorporated into our report to the Planning and Zoning Commission. The report, along with any other pertinent information regarding this planning case will be available prior to the meeting on our website ([City of Bemidji/Boards, Commissions, and Committees/Planning Commission](#)) and at city hall. Attached is a copy of the application and other supporting documentation.

If you have any questions or need further information, please feel free to contact our office at 218-759-3579 or email the planner assigned to the case (see email address above). City departments may access through SmartGov application **SUP-2025-0012**.

Respectfully,

Jamin Carlson
Planning Director
City of Bemidji Planning and Zoning Department



Planning & Zoning Department City of Bemidji

317 4th Street NW Bemidji, MN 56601 Office (218) 759-3579 Fax (218) 759-3591

November 7th, 2025

Dear Property Owner:

The City of Bemidji Planning and Zoning Commission will conduct a public hearing to discuss the following application:

SUP-2025-0012: - Greg Johnson representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 29 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 800008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

This public hearing will be held on **Thursday, November 20th, 2025, at 5:30 p.m.** The meeting will be held in the Council Chambers of the Bemidji City Hall located at 317 4th Street NW and may be viewed on local Channel 2. You are invited to attend this public hearing, express your opinions on the proposal at the hearing, if not able to attend, by email (preferred method), letter, or phone call to the Planning and Zoning Department. If possible, your written comments should be submitted by **Friday November 14th, 2025**, so they may be incorporated into our report to the Planning Commission. **Our report, along with any other pertinent information regarding this planning case will be available prior to the meeting on our website ([City of Bemidji/Boards, Commissions, and Committees/Planning Commission](#)) and at city hall.**

If you have any questions, please feel free to contact us at (218) 759-3579, or email comments to **SGAdmin@ci.bemidji.mn.us**.

Respectfully,

Planning and Zoning Staff

Packet Distribution List

SUP-2025-0012 – Tamarack Woods Apartments

	<u>Contact</u>	<u>E-MAILED</u>	<u>US Mailed</u>
<input checked="" type="checkbox"/>	Applicant / Representative	11/5/25	_____
<input checked="" type="checkbox"/>	City Building Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Attorney (Planning)	11/5/25	_____
<input checked="" type="checkbox"/>	City Engineer	11/5/25	_____
<input checked="" type="checkbox"/>	City Manager	11/5/25	_____
<input type="checkbox"/>	City Community Development	_____	_____
<input checked="" type="checkbox"/>	City GIS Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Police Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Fire Department	11/5/25	_____
<input type="checkbox"/>	City Parks Department	_____	_____
<input type="checkbox"/>	Beltrami County ESD/SWCD	_____	_____
<input type="checkbox"/>	Beltrami County Recorder	_____	_____
<input type="checkbox"/>	Beltrami County GIS Department	_____	_____
<input type="checkbox"/>	Beltrami County Sheriff	_____	_____
<input type="checkbox"/>	Beltrami County Engineer / Highway	_____	_____
<input type="checkbox"/>	Beltrami County Natural Resources	_____	_____
<input type="checkbox"/>	MnDNR Trails	_____	_____
<input type="checkbox"/>	MnDNR Waters	_____	_____
<input type="checkbox"/>	MnDNR District	_____	_____
<input type="checkbox"/>	MnDOT	_____	_____
<input type="checkbox"/>	Airport	_____	_____
<input checked="" type="checkbox"/>	Bemidji School District	11/5/25	_____
<input type="checkbox"/>	MPCA Closed Landfill Program	_____	_____
<input type="checkbox"/>	U.S. Army Corps of Engineers	_____	_____
<input type="checkbox"/>	Minnesota Chippewa Tribe	_____	_____
<input type="checkbox"/>	Red Lake Nation DNR	_____	_____
<input type="checkbox"/>	White Earth Nation DNR	_____	_____
<input type="checkbox"/>	Leech Lake Band DRM	_____	_____
<input checked="" type="checkbox"/>	Bemidji Sustainability Commission	11/5/25	_____
<input type="checkbox"/>	Other:	_____	_____



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Aerial Map

1:2,257

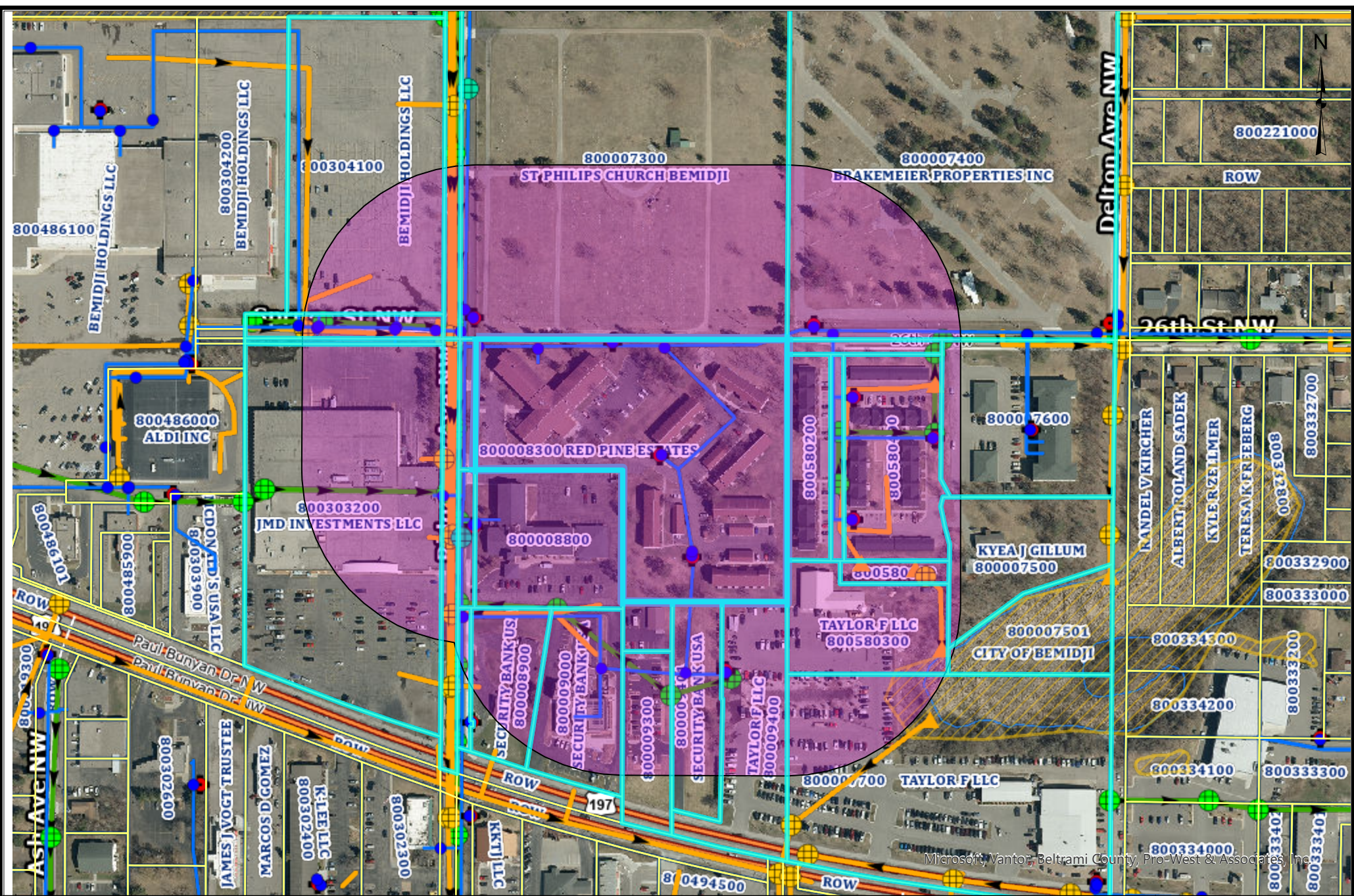
Date: 11/5/2025

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.

Bemidji

 First City On The Mississippi

Page 72 of 172



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

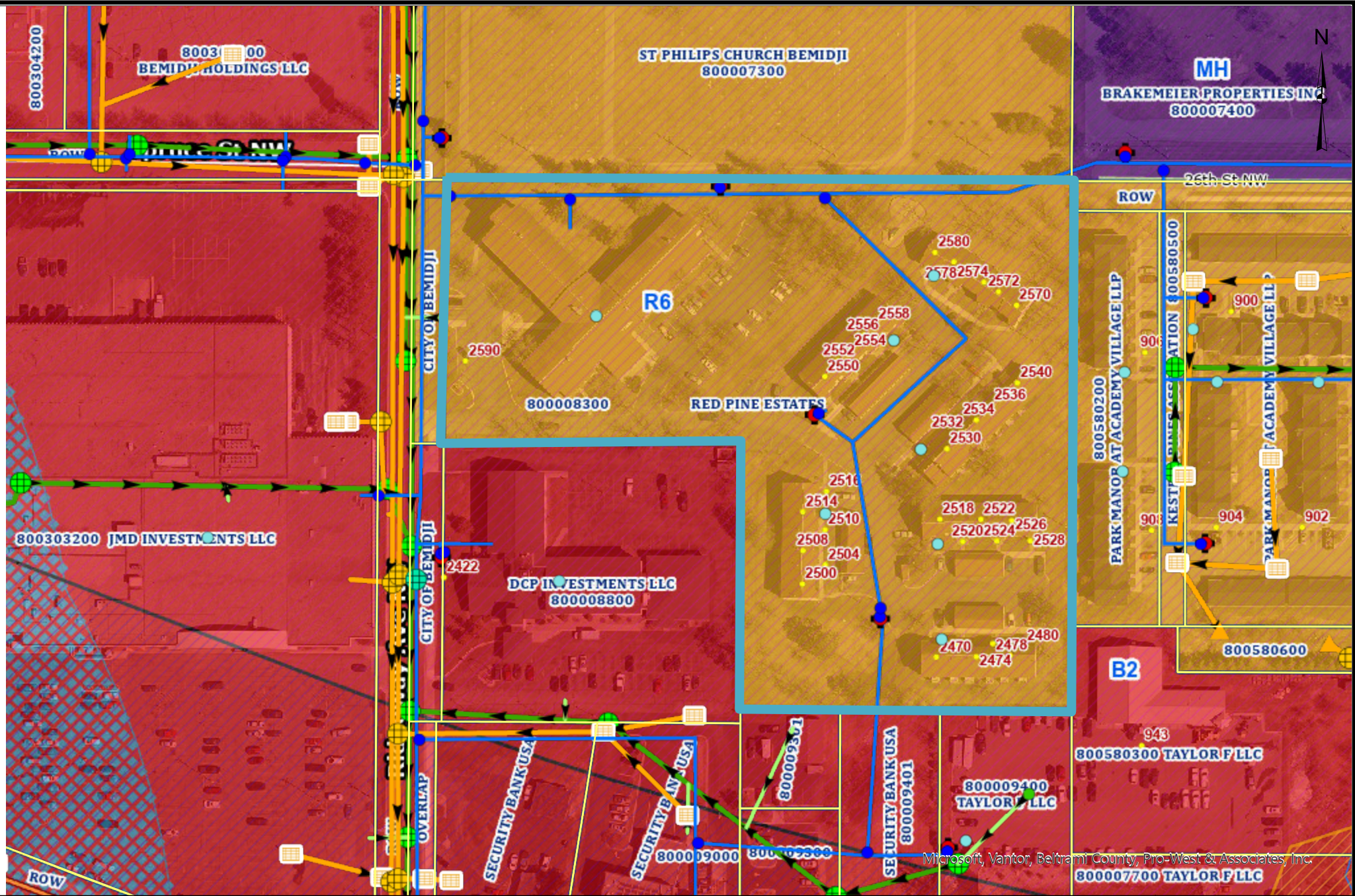
Buffer Map

1:4,514

Date: 11/5/2025

Page 73 of 172

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Zoning Map

1:2,257

Date: 11/5/2025

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.

Page 74 of 172

NORTHWOODS PARTNERS LLP
5490 51ST AVE
FARGO, ND 58104

SECURITY STATE BANCSHARES
OF BEMIDJI INC
PO BOX 1630
BEMIDJI, MN 56619

BEMIDJI HOLDINGS LLC
ATTN: GABRIEL JEIDEL
2361 NOSTRAND AVE STE 602
BROOKLYN, NY 11210

JMD INVESTMENTS LLC
15668 SLEEPY OAK RD
CHINO HILLS, CA 91709

SECURITY BANK USA
1025 PAUL BUNYAN DR NW
BEMIDJI, MN 56601

KYEA J GILLUM
804 26TH ST NW
BEMIDJI, MN 56601

TAYLOR F LLC
755 PAUL BUYNAN DR NW
BEMIDJI, MN 56601

CITY OF BEMIDJI
317 4TH ST NW
BEMIDJI, MN 56601

DCP INVESTMENTS LLC
1580 REDWOOD LANE SW
ROCHESTER, MN 55902

PARK MANOR AT ACADEMY VILLAGE LLP
1600 UNIVERSITY AVE W STE 212
SAINT PAUL, MN 55104

RED PINE ESTATES
MINNESOTA LMT PARTNERSHIP
2516 RIDGEWAY AVE NW
BEMIDJI, MN 56601

KESTREL PINES ASSOCIATION
15734 FOLIAGE AVE
APPLE VALLEY, MN 55124

BRAKEMEIER PROPERTIES INC
300 EHLERS AVE
CHASKA, MN 55318

ST PHILIPS CHURCH BEMIDJI
702 BELTRAMI AVE NW
BEMIDJI, MN 56601



AFFIDAVIT OF PUBLICATION

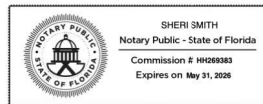
State of Florida, County of Broward, ss:

Anjana Bhadoriya, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of the The Bemidji Pioneer, a newspaper printed and published in the City of Bemidji, County of Beltrami, State of Minnesota.

1. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.
2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.
3. The dates of the month and the year and the day of the week upon which the public notice attached/copied below was published in the newspaper are as follows: Saturday, November 8, 2025
4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to §331A.06, is as follows: \$13.00 per column inch.
5. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in BELTRAMI County. The newspaper complies with conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

Anjana Bhadoriya

(Signed) _____



VERIFICATION

State of Florida
County of Broward

Subscribed in my presence and sworn to before me on this: 11/10/2025

S. Smith

Notary Public

Notarized remotely online using communication technology via Proof.

CITY OF BEMIDJI PLANNING AND ZONING COMMISSION

NOTICE OF PUBLIC HEARINGS & MEETINGS

NOTICE IS HEREBY GIVEN that on Thursday, November 20, 2025, at 5:30 PM or as soon thereafter as possible, the City of Bemidji Planning and Zoning Commission will conduct a Public Hearing in-person in the Council Chambers of Bemidji City Hall, located at 317 4th St. NW, Bemidji MN, and broadcasted on Channel 2, regarding the following request(s):

Conditional Use Permit Request: Ben Kerr representing Kodiak Builders, LLC requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

Conditional Use Permit Request: Greg Johnson representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 29 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 80008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

Interim Use Permit Request: Julie Canty representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 800420400) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay and Cannabis (Day Care Center) overlay.

Rezzone and Conditional Use Permit Request: Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezzone) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

Ordinance Text Amendment – City of Bemidji is requesting to amend the text of Chapter 28 of the Bemidji City Code Entitled "Development Code", Specifically amending Article X Performance Standards, Section 28-429 Cannabis Zoning and Land Use.

All interested parties are invited to attend the public hearing(s) and comment on the proposal(s). If you are unable to attend in person, comments can be submitted by email to SCAdmin@ci.bemidji.mn.us (preferred method), letter, or phone call to the Planning and Zoning Department. Call 218-759-3579 or visit our website at www.ci.bemidji.mn.us

for more information. If possible, your written comments should be submitted by **Friday, November 14, 2025**, so they may be incorporated into the staff report to the Planning Commission.
(Nov. 8, 2025)



CITY OF BEMIDJI PLANNING AND ZONING COMMISSION

NOTICE OF PUBLIC HEARINGS & MEETINGS

NOTICE IS HEREBY GIVEN that on Thursday, December 18, 2025, at 5:30 PM or as soon thereafter as possible, the City of Bemidji Planning and Zoning Commission will conduct a Public Hearing in-person in the Council Chambers of Bemidji City Hall, located at 317 4th St. NW, Bemidji, MN, and broadcasted on Channel 2, regarding the following request(s):

Conditional Use Permit Request: Ben Kerr representing Kodiak Builders, LLC requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

Conditional Use Permit Request: Greg Johnson representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 29 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 800008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

Interim Use Permit Request: Julie Canby representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 800420400) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay and Cannabis (Day Care Center) overlay.

Rezoned and Conditional Use Permit Request: Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezoned) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

Ordinance Text Amendment - City of Bemidji is requesting to amend the text of Chapter 28 of the Bemidji City Code Entitled "Development Code". Specifically amending Article X Performance Standards, Section 28-429 Cannabis Zoning and Land Use.

All interested parties are invited to attend the public hearing(s) and comment on the proposal(s). If you are unable to attend in person, comments can be submitted by email to SGAdmin@ci.bemidji.mn.us (preferred method), letter, or phone call to the Planning and Zoning Department. Call 218-759-3579 or visit our website at www.ci.bemidji.mn.us

AFFIDAVIT OF PUBLICATION

State of Florida, County of Orange, ss:

Edmar Corachia, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of the The Bemidji Pioneer, a newspaper printed and published in the City of Bemidji, County of Beltrami, State of Minnesota.

- 1. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.
2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.
3. The dates of the month and the year and the day of the week upon which the public notice attached/copied below was published in the newspaper are as follows: Saturday, December 6, 2025
4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to §331A.06, is as follows: \$13.00 per column inch.
5. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in BELTRAMI County. The newspaper complies with conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

Edmar Corachia

(Signed) _____

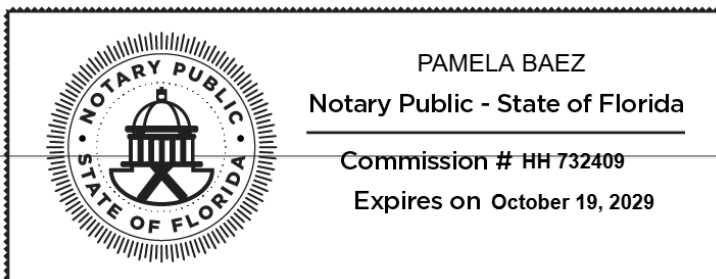
VERIFICATION

State of Florida
County of Orange

Subscribed in my presence and sworn to before me on this: 12/08/2025

[Signature]

Notary Public
Notarized remotely online using communication technology via Proof.



for more information. If possible, your written comments should be submitted by **Friday, December 12, 2025**, so they may be incorporated into the staff report to the Planning Commission.
(Dec. 6, 2025)

THE CITY OF BEMIDJI PLANNING BOARD

PLANNING CASE: SUP-2025-0013	PC MEETING DATE: November 20 th , 2025 Postponed to December 18, 2025
APPLICANT: Julie Canty representing First City Cannabis	60-DAY RULE DATE: December 29 th , 2025 60-Day Rule Extension Date: February 28, 2026
PROCEEDING: Interim Use Permit (IUP) to Operate a Retail Cannabis Business	ZONING DISTRICT: B-2 General Commercial & Hwy 197 Overlay
PREPARED BY: Jamin Carlson Planning Director	EXHIBITS: Zoning Map, Aerial Map, Application, Site Plan, Supporting Documentation

PLANNING REPORT

SUMMARY OF REQUEST

SUP-2025-0013: - Julie Canty representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 80.04204.00) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay.

BACKGROUND

Julie Canty (Applicant) met with planning staff numerous times over the past year to discuss processes and looked at several possible locations for a retail cannabis business. The proposed business will be leased space by the Applicant from a new owner and operated with the required interim use permit. The property was the previous site of Wausau Homes that operated out of the building for quite some time. The site contains an existing building with a garage and parking lot with access directly off Washington Ave S (Hwy 197).

Planning Considerations

All Interim Use Permits must follow the general requirements including process, criteria, and findings. An interim use permit runs with the owner/lease holder and terminates when the property changes hands or after a set amount of time.

INTERIM USE: A temporary use of property until a particular date, until a particular event, or until zoning regulations no longer permit it. Interim use permits are not recorded and do not run with the land upon transfer. All interim uses shall conform to standards listed in Sec. 28-524 of this development code.

Type of Business

Cannabis Business has the meaning given the term in Minnesota Statutes, Section 342.01, subdivision 14 and includes all business listed thereunder. The term also includes hemp manufacturers and hemp retailers.

Cannabis Retailer means a cannabis business regulated by Minnesota Statutes, Section 342.27. The term includes any cannabis business with a license or endorsement authorizing the retail sale of cannabis flower or cannabis products including, but not limited to, a cannabis microbusiness and a cannabis mezzo business. The term also includes any hemp retailer.

Zoning Districts

(1) Zoning Districts. Specific types of cannabis businesses are only allowed to operate in the zoning districts as indicated below, and then only upon issuance of an interim use permit and are prohibited from operating in any other zoning districts.

f. Cannabis Retailer: B-1, B-2, LC, LD, OM, and UR.

Buffers

(7) Buffer Zones. No cannabis business shall be located or operate within:

a. 750 feet of a school;

Definition: School means a building or space that is principally used as a place where twenty-five (25) or more persons from any grade from head start through the 12th grade receive a full course of educational instruction. Any post-secondary or post high school educational building, including any college or other vocational technical college, shall not be deemed a school for purposes of adult sexually oriented business distance restrictions under this development code.

b. 500 feet of a residential treatment facility or residential treatment center;

Definition: Residential treatment facility or residential treatment center means a residential treatment facility or center, sometimes called a rehab, is a live-in health care facility providing therapy for substance abuse, mental illness, or other behavioral problems. Residential treatment may be considered the "last-ditch" approach to treating abnormal psychology or psychopathology.

c. 500 feet of a daycare facility (Licensed Commercial Child Care).

Definition: Daycare Facility (Licensed Commercial Child Care): A state of Minnesota licensed facility with the primary use of caring for children less than twenty-four (24) hours a day

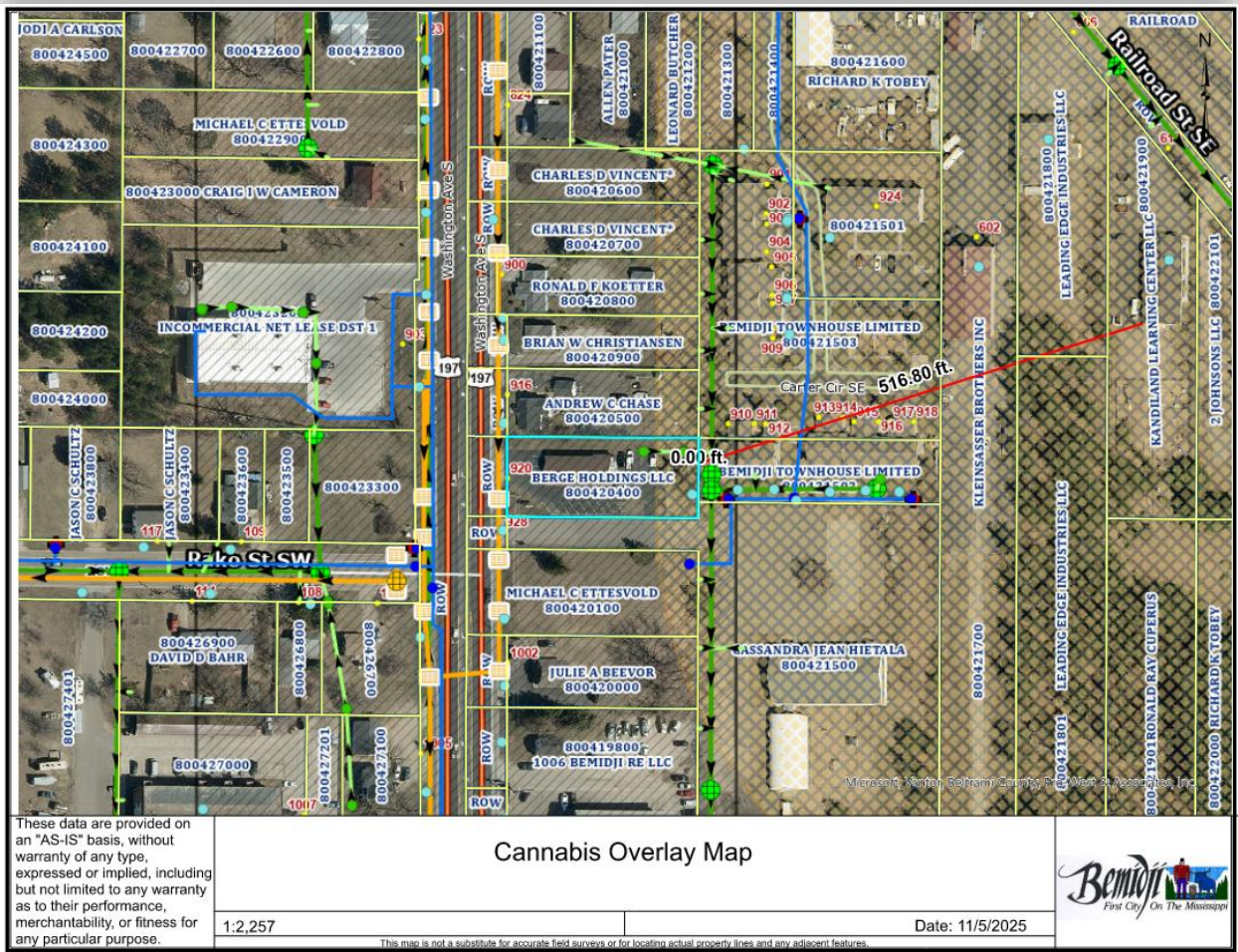
regularly providing one or more dependents with care, training, supervision, or developmental guidance.

d. 500 feet of an attraction within a public park that is regularly used by minors including, but not limited to, playgrounds and athletic fields.

Definition: Public Park, athletic fields and active outdoor recreation means an athletic field, park, playground, beach, or recreation or community center in the community owned, leased, or used wholly or in part by the city, county, state, school district, or federal government for recreational purposes.

Location

The proposed cannabis retail business is **not** located within any of the above listed buffers. The proposed location lies within the commercial corridor of Washington Ave S. off State Hwy 197 and is zoned B-2 General Commercial.



Hours of Operation

(6) Hours of Operation. No cannabis business shall sell cannabis, cannabis flower, cannabis products, lower-potency hemp edibles, or hemp-derived consumer products from 9:00 p.m. to 10:00 a.m.

Security

b. All cannabis businesses must comply with the operational requirements and prohibitions contained in Minnesota Statutes, Section 342.24, including the need to create, follow, and maintain a security plan. The security plan must, at minimum, contain the following security features:

- i. 24-hour security video surveillance of both the interior and exterior of the building that retains data for at least 30 days; and*
- ii. Provisions on how access will be restricted from restricted areas as required by Minnesota Statutes, Section 342.24, subdivision 3.*

The applicant has stated that no one under the age of 21 will be allowed in the building. Customers must provide identification at the door and then identification must be provided again at time of purchase. No consumption will be allowed on site.

License

No property may be used as a cannabis business without first obtaining a preliminary license approval or a license from the OCM, and if required by Bemidji City Code, an approved registration by the City Council as provided in Minnesota Statutes, Section 342.2

Employees & Customers

The Applicant states they will be employing between 4-10 individuals for the business. They also anticipate 40-80 customers a day.

Parking

The site contains approximately 17 parking spaces for the business and the requirements for retail are below from the Ordinance regarding retail space type uses:

One (1) space for each three hundred (300) square feet of gross floor area used for the sale of goods, plus one (1) space for each employee on max shift.

The Applicant states that they may have up to 10 employees along with the square footage (approximately 2,100 square feet/300 square feet = 7) the total would be 17 spaces.

Comments:

Development Team (Public Works/Engineer

I don't have any major engineering related concerns with this proposal. I would anticipate some increased traffic in and out of this site, but the current access is under the control of MnDOT not the City for this property.

Thank you,

Sam Anderson, P.E. | City Engineer/Director of Public Works | City of Bemidji
218-333-1851 | sam.anderson@ci.bemidji.mn.us

MNDOT

No comments received.

Public Comment Input

Please see attached.

Public Notice and Hearing Requirements - Per the Ordinance: Sec. 28-527:

A. In addition to the procedures described in preceding sections of this development code, all conditional use permit requests, variance requests, requests for amendments, and preliminary plat approval shall be reviewed at a public hearing conducted at least ten (10) days following official public notification including publication in the official newspaper of the council and mailed notice to all property owners within the following distances from affected property when such notice is applicable: in the case of variances, conditional use permits and preliminary plats, all property owners within three hundred and fifty (350) feet of the property must be notified; in the case of amendments to official controls which involve changes in district boundaries of five acres or less, all owners of property within three hundred and fifty (350) feet must be notified.

Planning Commission Packet Process

Planning commission packets are available by the end of day the Monday before the planning commission meeting (the next Thursday) for viewing on the City of Bemidji's website at www.ci.bemidji.mn.us and a hard copy is available for viewing at city hall.

Comprehensive Plan References

The location of cannabis retail business in a commercial area is compatible in the B-2 General Commercial Zoning District within the HWY 197 Overlay. The City of Bemidji Comprehensive Plan shows this area as Commercial land use.

Objective 4.2: Preserve and Promote Commercial and Industrial Redevelopment or In-Fill Development Where Appropriate

Providing opportunity for commercial and industrial redevelopment is imperative to reduce urban sprawl and increase land use densities where appropriate. Land use planning can preserve existing developed areas and ensure land is available as well as compatible for increased development.

Objective 4.3: Promote Land Use Decisions that Protect the Natural Environment through Smart Growth and Sustainable Practices

1. Promote flexibility for commercial and industrial redevelopment and encourage in-fill development. *Allowing for in-fill development and redevelopment of existing commercial areas will ensure the current commercial and industrial areas remain vibrant, full, and diverse. In-fill and redevelopment will be encouraged before resorting to increasing commercial and industrial areas.*

4. Support a reduction of off-street parking requirements for appropriate land uses to allow for increased interior green space. *Maximize the potential for green space with all development or redevelopment of sites, when possible, as well as for reduced heat island effects of increased temperatures within the high-density urban area of parking lots.*

Objective 6.2: Promote and Maintain the Status of an Economic Regional Center

The City of Bemidji has become an economic regional center for northern Minnesota. The community will continue to provide the amenities for shopping, recreation, and entertainment that keep jobs and people coming to the area.

The proposed use in this district is consistent with the City of Bemidji Comprehensive Plan, as well as the City of Bemidji Code; provided the IUP process is followed, and specific conditions are met to assure compatibility with surrounding uses.

Zoning Ordinance References

Section 28-9 – Definitions

Section 28-81 – Allowed, Permitted, Conditional, and Interim Uses

Section 28-82 – Land Use Matrix

Section 28-122 – Lot Size and Bulk Regulations by Zoning Districts

Section 28-252 – Signs Permitted in the B-1 and B-2 Commercial Zoning Districts

Section 28-402 - Exterior Storage and Outdoor Display of Merchandise

Section 28-406 – Landscaping Requirements

Section 28-408 – Lighting Standards

Section 28-409 – Parking Standards

Section 28-429 - Cannabis Zoning and Land Use

Section 28-524 – Conditional Use or Interim Use Permits

RECOMMENDATION & FINDINGS

Conclusion based on the Ordinance and the Comprehensive Plan.

The Planning Commission must decide whether the findings are sufficient for approval of an interim use permit (IUP) for a Retail Cannabis Business on parcel 80.04204.00, located at 920 Washington Ave S within the City of Bemidji with the following conditions and findings of fact:

Conditions

1. A security plan shall be submitted and approved complying with Section 28-429 of the Ordinance.
2. All exterior lighting on-site (Section 28-409), any trash enclosures (Section 28-402), and landscaping requirements (Section 28-406) shall comply with the Ordinance.
3. The applicant will enforce and maintain a no loitering policy for the site.
4. No consumption on site will be allowed without state licensing endorsement.
5. All necessary permits, licenses, and registrations shall be obtained by the Applicant.
6. A sign permit shall be obtained prior to installation of any new signage complying with Section 28-252 of the Ordinance.
7. The IUP shall be reviewed for compliance one (1) time upon six (6) months of operation by City Staff. If Planning staff conclude there is a valid reason to bring it to the Planning Board, the applicants shall participate in a review of the IUP.
8. The IUP shall terminate upon a change in use, a change in the owner/operator (leaseholder), or a change in the lease space as may be determined by the Planning Staff.
9. The IUP shall expire and become void if the use it allows is not substantially started within twelve (12) months from its date of issuance. A substantial start means more than preliminary steps have been taken such that preparations to initiate the use are mostly complete. The

City of Bemidji may, upon written request of the owner, grant an extension to this deadline not to exceed an additional twelve (12) months.

Findings of Fact

1. Whether the proposed use adversely affects the public safety, health, morals, convenience, and general welfare of the occupants of the surrounding land.

Cannabis Retail conforms to the zoning regulations as a permitted IUP use in the (B-2) General Commercial Zoning District & 197 Overlay. The proposed use is not anticipated to adversely affect, nor create an unreasonable level of disruption or interference upon the surrounding commercial areas.

2. Whether the proposed use adversely affects traffic conditions and parking on adjacent streets and land.

Increases in traffic or other negative impacts are not anticipated for these proposed businesses. The site has adequate off-street parking and developed ingress and egress location from a state highway.

3. Whether the proposed use adversely affects property in the surrounding area.

Adverse impacts upon the surrounding area are not anticipated with this proposal as cannabis retail business are within the zoning regulations. Any future changes shall be reviewed in accordance with all zoning requirements.

4. Whether the proposed use is in conformance with the community's Comprehensive Plan or Land Use Plan.

The proposed use is consistent with the goals and policies of the City of Bemidji Comprehensive Plan as well as the City Code through an approved IUP.

5. Whether adequate utility, drainage and other such necessary facilities have been or can be provided.

The property has adequate infrastructure and is served by City services.



Application

SUP-2025-0013

CONDITIONAL OR INTERIM USE PERMIT

SITE ADDRESS: 920 WASHINGTON AVE S BEMIDJI
PRIMARY PARCEL: 800420400
PROJECT NAME: FIRST CITY CANNABIS RETAIL
21 PLUS

ISSUED:

EXPIRES:

APPLICANT: Canty, Julie
122 26th Street NW
Bemidji, MN 56601
2184077550

OWNER: BERGE HOLDINGS LLC
51344 WHIPPORWILL RD
BEMIDJI, MN 56601

OTHER: Lavoy, Anthony
PO Box 1004
Bemidji, MN 56219
218-261-1137

Detail Name

Select the type of use permit application from the list:

Describe the proposed use of your property:

Describe the existing use of your property:

Are you aware of any existing Use Permits or Variances for this property?

Will the proposal generate increased traffic over existing conditions?

If yes, an increase amount of traffic, please explain.

Will the proposal require additional parking spaces?

How many people will occupy your premises on an average day? Please provide numbers for employees, customers, and residents.

Will your proposal increase water usage or sewage generation over the existing use?

Will your proposal generate additional waste?

Describe your disposal method .

Does your property contain low areas, wetlands, or areas with standing water?

Please explain if you intend to drain, fill or otherwise alter this area for any reason (If this does not apply, enter N/A)

Detail Value

Interim Use

State Licensed Cannabis Retail

Vacant / Commercial

No

Yes

I anticipate 40-80 customers daily

No

4-10 employees / 40-80 customers daily / 0 residents

No

No

contracted waste service

No

N/A



I hereby certify that I am the owner or authorized agent of the owner of the above described property and that all uses will conform to the provisions of the City of Bemidji Development Code. I further certify that I will comply with all conditions placed upon this permit should this application be approved. Intentional or unintentional falsification of this application or any attachments thereto will serve to make this application and any resultant permit invalid.

I certify

I also authorize City of Bemidji staff to inspect the property during review of this application and subsequent construction during reasonable times of the day.

I certify

Enter Escrow Payer's Name and Mailing Address (where escrow funds are to be returned when the project is completed)

Julie Canty

CONDITIONS

* An escrow account is established to cover technical and legal expenses incurred by the City of Bemidji as part of the plan review. The applicant is responsible for all costs incurred by the City during plan review. If the escrow amount drops below 10% of the original deposit amount the City may require submittal of an additional escrow deposit sufficient to cover any anticipated expenses. Upon determination by the City that the project is complete or expired, the City will return the remaining escrow deposit to the applicant.

* A Conditional Use or Interim Use Permit shall expire and become void if it is not acted upon within twelve (12) months from its date of issuance. A substantial start means more than preliminary steps have been taken such that preparations to initiate the required work are mostly complete. Bemidji Planning may, upon written request of the owner, grant an extension to this deadline not to exceed an additional twelve (12) months.

FEES:	<u>Paid</u>	<u>Due</u>
Planning Escrow Deposit	\$500.00	\$0.00
PLN Special/Conditional/Interim Use Permit	\$500.00	\$0.00
Totals :	\$1,000.00	\$0.00

Preliminary Business Plan

Applicant Name	Julie Anne Canty
Applicant Business Name	Sails L.L.C.

Document attachment area in Accela Citizen Portal:

After reaching **Step 3: Documents** in the application, select **Add** to upload each required attachment relevant to your application.

Expected size of the business:

Expected size of the business, including metrics which may include but are not limited to anticipated revenue, sales, number of employees or any other metric identified by the applicant. Applicants should provide three (3) metrics demonstrating projected business size.

Character limit: 4,000 for each metric

Metric 1:

Anticipated Revenue

Operations will commence as a micro business immediately upon receiving our license from the OCM. The initial phase will include the development of 1,600 square feet dedicated to flowering cultivation canopy and 400 square feet for vegetative growth. Following this 1000 square feet will be allocated for manufacturing, focusing on solventless extraction and the production of cannabis concentrates and consumer products. Offerings will include rosin, water hash, pre-rolls, edibles, and additional products based on market demand. By the first quarter of 2025, a retail location will be secured, either through leasing or purchase, and remodeled to meet security and operational requirements necessary for a successful dispensary. The majority of products cultivated and processed in-house will be sold at this retail location, while the remainder will be distributed through wholesale channels, establishing two revenue streams. Once retail operations are fully underway, cultivation capacity will be expanded to 4,800 square feet of flowering canopy and 1,000 square feet of vegetative space.

The focus will be on producing premium-quality cannabis, leveraging years of experience from California's Emerald Triangle. The cultivation facility will incorporate insulated wall panels, LED lighting, and hydroponic systems, ensuring maximum efficiency while minimizing resource consumption, such as electricity and water. This environmentally conscious approach will enhance cost-effectiveness, providing financial stability in the fluctuating cannabis market. Extraction methods will rely on agitated water extraction, a non-volatile and eco-friendly process. Some extracted products will be further refined into rosin, a highly sought-after concentrate that will provide a competitive advantage within the market. By utilizing cannabis license pre-approval to initiate early cultivation, a full lineup of products will be ready for sale as soon as dispensaries are permitted to open. Revenue projections have been carefully calculated using industry data and extensive market modeling. In the first full month of adult-use recreational sales, anticipated revenue is \$305,000 from retail and \$142,000 from wholesale, totaling \$446,000. As brand awareness grows and the market expands, retail revenue is expected to surpass \$335,000 by month nine and exceed \$385,000 by month twelve. While wholesale revenue will decrease as in-house products are increasingly sold through retail, total projected revenue for month twelve stands at \$525,000.

First-year median revenue is estimated at \$4,099,000 from retail and \$1,752,000 from wholesale, resulting in a total revenue projection of \$5,852,000. Estimated first-year revenue by product category includes \$3,511,000 from flower, \$585,000 from pre-rolls, \$819,000 from vaporizers, \$585,000 from edibles, \$293,000 from concentrates, and \$59,000 from beverages.

*All revenue figures are rounded to the nearest thousand for clarity.



Metric 2:

Our focus will be on six primary product categories: flower, pre-rolls, vaporizers, edibles, concentrates, and beverages. All in-house products will be sold under our own brand, while retail shelves will be supplemented with wholesale products from other licensed Minnesota cannabis businesses. Flower will be the foundation of our business, projected to account for approximately 60% of total sales revenue in the first year. Based on market research, we anticipate producing 75% of the flower sold in our own cultivation facility. The growing space will consist of two flowering rooms with 800-square-foot of canopy, allowing for monthly harvests, yielding an average of 8,580 individual 3.5-gram containers of flower. Each month, up to 10 distinct strains will be harvested, packaged in full compliance with OCM regulations, and stored in childproof containers. As retail sales increase, wholesale distribution will decrease over the first two years, prompting an expansion of flowering space 18 months after retail operations begin. In the first month, flower sales are projected at \$247,000, equating to approximately 7,000 3.5-gram packages, or an average of 18 packages sold per hour. First-year flower sales are expected to total 79,000 units across both wholesale and retail.

Pre-rolled cannabis is the fastest-growing category in both the U.S. and Canada, and we will prioritize offering high-quality pre-rolls to Minnesota consumers. This category is expected to contribute 10% of first-year revenue, with production reaching approximately 5,000 half-gram pre-rolls per month, totaling 56,000 for the year. These will be available in five-packs, three-packs, and single units, with select varieties infused with our solventless hash. Utilizing smaller, less visually appealing flower to produce premium pre-rolls enhances the overall marketability of our cultivated flower.

Vaporizers represent the second-largest product category nationally, expected to generate 14% of retail revenue, translating to approximately 19,000 units sold in the first year. Due to the cost and complexity of producing high-quality vaporizers, we will initially source these products from third-party suppliers rather than manufacture them in-house.

Edibles are projected to account for 10% of retail sales revenue, with in-house production covering 25% of our edible sales. Having our own edible line allows for greater control over product variety, ensuring we meet consumer demand.

High-end concentrates, particularly rosin, will be a cornerstone of our business, expected to contribute 5% of total sales revenue in the first year. Producing premium rosin and selling it directly through our dispensary will provide a distinct competitive edge. Monthly production is projected at 500 grams of rosin, all of which will be sold through our retail location. Additionally, we anticipate selling another 700 grams of rosin from other producers each month.

While cannabis beverages are a popular product in Minnesota, they are expected to account for only 1% of sales revenue. Due to the high startup costs associated with canning equipment, we will not manufacture our own beverages in the first year.

Metric 3:

Number of Employees

The success of our business will rely heavily on hiring professional, knowledgeable, and well-trained employees. While quality staff is essential in any industry, it is especially critical in cannabis, where expertise, compliance, and customer service play key roles. Our goal is to recruit top-tier candidates, offer competitive wages, and retain employees for the long term. Providing sustainable, well-paying jobs is a fundamental principle of our company. We will be an equal-opportunity employer, adhering to all federal, state, and local regulations. Additionally, we will enter into a labor peace agreement with a local union once we reach ten full-time employees.

The company will be structured around three core management positions. The cultivation manager will oversee all aspects of plant growth, from cloning through vegetative and flowering stages to harvest and trimming. This role is essential, as a well-run cultivation operation is the foundation of the entire business. The manufacturing manager will be responsible for all post-production processes, including pre-rolls, edibles, and concentrates. The retail store manager will handle every aspect of the dispensary, from inventory management and compliance to security, sales, and ensuring strict adherence to protocols preventing sales to individuals under 21.

Another key role will be the compliance and quality control officer, responsible for ensuring the business meets all regulatory requirements. This individual will be trained in all relevant computer systems to maintain accurate records, oversee inventory, verify transfers and manifests, and ensure seamless point-of-sale operations. They will also collaborate closely with the bookkeeper to maintain accurate financial records and ensure timely payment of all applicable taxes and fees.

In the first year, the cultivation team will consist of the cultivation manager and up to 2 additional cultivation employees. Since all premium-grade flower will be hand-trimmed, we anticipate the need for 2 full-time trimmers. 1 full-time employee will handle packaging for both trimmed flower and other consumer products, including pre-rolls and edibles. Production of pre-rolls, edibles, and concentrates will be managed by the manufacturing manager with the support of 1 full-time manufacturing employees. On the retail side, the team will include a retail store manager, 4 full-time and 5 part-time budtenders. These employees will be highly trained cannabis specialists, equipped to guide customers in selecting products tailored to their needs. Additionally, the front desk will be staffed by 1 full-time and 1 part-time receptionist. If security services are required, they will be provided by a private contractor.

Anticipated growth:

Anticipated growth of the business including metrics which may include but are not limited to anticipated revenue, sales, number of employees or any other metric identified by the applicant. Applicants should provide three (3) metrics demonstrating projected business size.

Character Limit: 4,000 for each metric

Metric 1:

Anticipated Revenue Growth

The first year in an emerging cannabis market may present challenges, but securing a license early will provide a key advantage, allowing us to establish an early presence. From the outset of retail operations, we expect retail sales to be our primary revenue driver. Our projections indicate that retail will account for 68% of revenue in the first month, increasing to 73% by the twelfth month. This growth will be fueled by an increase in retail sales from \$305,000 in the first month to \$385,000 by month twelve. Strong initial demand from Minnesotans eager for legalized cannabis will contribute to substantial early sales, while ongoing advertising, market expansion, and a broader product selection will drive sustained growth throughout the year. We anticipate a monthly revenue increase of approximately 126% from the first to the twelfth month.

Beyond the first year, we expect revenue growth to stabilize within an annual range of 15% to 20%. By the eighteenth month, we plan to complete our flowering canopy expansion, with the first harvest from this expansion occurring by the twenty-first month. This will significantly increase our wholesale capacity, allowing us to generate additional revenue streams. For the second year, we project retail revenue of \$4,816,000 and wholesale revenue of \$2,060,000, bringing total revenue to \$6,876,000. With only 1,600 square feet of flowering space in the first year, retail will continue to dominate, accounting for 70% of total revenue.

By the third year, retail revenue is expected to reach \$5,659,000, while wholesale revenue will grow substantially to \$3,450,000 due to the expanded cultivation space. This will bring total projected revenue to \$9,109,000, with wholesale contributing 38% of total earnings. This shift will create a balanced revenue model, with approximately 60% derived from retail and 40% from wholesale.

Once our cultivation expansion is complete and the business reaches stability in the third year, we will continue to enhance our product offerings, including the introduction of vaporizer cartridges. Expanding our product lineup will support further revenue growth in both retail and wholesale markets.

Metric 2:

Sales Growth

Based on data from other emerging state markets, we anticipate nearly 2,800 retail transactions in the first month, generating approximately \$305,000 in revenue. As market awareness and demand grow, we expect retail transactions to increase steadily, reaching over 5,000 by the twelfth month. Industry trends suggest that while total sales and transaction volume typically rise, the average transaction value tends to decline slightly over time. This is due to both the natural price adjustments that occur as the market matures and the diminishing "new-to-market customer" effect. However, this is not a significant concern for our business, as our commitment to quality products and strategic advertising will continue to attract new customers. The steady increase in sales volume will ensure that nearly all of our in-house products will be sold directly through our retail location.

A key driver of growth in the first three years will be the expansion of our flowering canopy from 1,600 to 4,800 square feet. This increase in cultivation capacity will allow us to produce approximately 3 times more flower while also scaling up the production of pre-rolls, concentrates, and other cannabis products. Once fully operational, this expansion will raise the monthly output of individually packaged 3.5-gram flower units from 7,000 to nearly 21,000. Monthly pre-roll production will grow from 5,000 to over 14,000 half-gram units, while rosin production will expand from 500 to nearly 1,500 grams per month. This will significantly enhance our wholesale distribution, providing more opportunities to place our products in other retail locations, increasing brand awareness across the market.

With the expanded cultivation space, we also anticipate increasing our unique strain offerings from 10 to 28 per month. The availability of a wider range of high-quality flower and cannabis products at other dispensaries will further establish our presence in the industry. Following the successful implementation of this cultivation expansion, we plan to enhance our processing capabilities to introduce new product categories, including in-house production of edibles and vaporizers.

Metric 3:

Employee Growth

As the business expands, additional staff will be required at various stages to support operations. The initial hiring phase will begin with the cultivation manager and team, followed by the manufacturing manager, manufacturing staff, trimmers, and packaging employees. Retail operations will be staffed progressively, starting with a retail store manager and 2 employees one month before opening, expanding to a team of 12 by the end of the first year. The compliance and quality control officer will also be brought on alongside the cultivation staff. By the close of the first year, we anticipate employing a total of 21 team members.

The next major growth phase is expected to begin in month 18 with the expansion of cultivation operations. At this stage, 2 additional employees will be added to the cultivation team. As the first expanded cultivation cycle nears completion, additional trimmers and packaging staff will be hired between months 21 and 23, increasing the trimming crew from 2 to 7 employees and the packaging team from 1 to 5 employees. The manufacturing team will also grow by 1 additional staff members. On the retail side, as sales continue to increase into the second year, we plan to add 2 full-time and 2 part-time employees, bringing the total workforce to over 35 as we enter the third year.

With the introduction of new consumer products in year three, the production team will expand by three to four employees, allowing existing staff to focus on established products while the new team specializes in items such as vaporizer cartridges. As wholesale cannabis and product distribution grow, a dedicated sales team and warehouse manager may be added. Depending on market conditions and the overall trajectory of the business, the workforce could potentially reach 45 employees by the end of year five.

Methods of recordkeeping:

Methods of recordkeeping including but not limited to (i) physical record keeping or electronic record keeping.

Character limit: 4,000

We are committed to maintaining meticulous record-keeping practices and will foster a culture that prioritizes accurate documentation. We will encourage and reward employees for adhering to record-keeping rules, Standard Operating Procedures (SOPs), and best practices. To ensure proper record-keeping, we will implement a variety of cannabis-specific software tools, complemented by physical backups as deemed necessary by management or as required by the Office of Cannabis Management (OCM). Additionally, we will create detailed SOPs for record-keeping processes, ensuring we document all plants, cannabis products, transfers, sales, security measures, and any other information mandated by the OCM or any applicable federal, state, or local authority.

For each batch of cannabis plants and cannabis flower, we will prepare a cultivation record in the format required by the office, maintaining these records for a minimum of five years. These records will include details such as the quantity and timing of each pesticide, fertilizer, soil amendment, or plant amendment used, along with any other information required by regulations. Upon request, we will provide these cultivation records to the OCM, the Commissioner of Agriculture, or the Commissioner of Health.

We will adopt an automated data inventory and compliance system to streamline record-keeping, ensuring both accuracy and efficiency in our compliance efforts. This system will track every plant and product, providing real-time inventory updates and supporting quick and accurate inventory checks. In the event that the OCM selects Metric as their statewide monitoring system, our program will generate Metric reports and allow us to track which employee completed each record-keeping task, ensuring full accountability. The use of RFID tags and scanners will simplify plant tracking and reporting to Metric. Additionally, our inventory system will integrate with the statewide monitoring system to track all cannabis plants, flower, products, and hemp-derived consumer goods from their possession through disposal, transfer, or sale. To manage transfers, we will utilize a program to maintain accurate, real-time records of all incoming and outgoing transfers. The system will enable us to verify each transfer, whether it is leaving our cultivation facility or entering our retail facility.

At the retail level, we will use an advanced cannabis-specific point-of-sale (POS) system which will help us accurately track each sale and customer. This will ensure we maintain precise records and verify that all sales are made to individuals aged 21 and over.

We will also maintain and track detailed security logs, recording every employee, contractor, or guest who enters or exits any part of our facility other than the retail sales floor. Our security system will track and document actions such as when the system is armed or disarmed and when restricted zones like the vault are accessed. In addition to these, we will maintain accurate personnel, financial, and any other records required by law.

Our record-keeping system will be supported by rigorous SOPs and comprehensive training programs for all employees. These SOPs will cover all aspects of record-keeping, including documentation for plants, products, transfers, sales, security, and the use of both software and hardware systems. We will ensure that our record-keeping practices comply with all regulations and include backup systems for both physical and digital records as required by the OCM or any other relevant authority.

Knowledge and experience of key individuals:

The knowledge and experience of the applicant and **all** officers, directors, managers, and general partners of the business. *This should include all individuals listed on the applicant's Disclosure of Ownership and Control worksheet and capitalization table, including the applicant.*

Character limit: 4,000

Julie Canty (Sole Owner)

I founded my company in 2012. Over the past 12 plus years of owning and managing this business I have gained tremendous experience. As of today my company has three physical brick and mortar locations, two located in Bemidji and one in Baxter. Additionally I operate on many online platforms including upthriftshop.com (my company's website) Ebay, Facebook and Mercari. I've been the sole owner and manager of my stores. Through this I've gained vast knowledge and experience in many facets of operating a small business including state, federal and local tax filings, business permitting, business regulatory compliance, accounting, management, retail, customer service, information technology and marketing. During my over a decade of experience owning and managing my business I have overcome a host of challenges and managed to become more knowledgeable, stronger and more resilient through this experience. Currently I employ and manage seven people.

I began selling hemp products after the passage of federal and state legislation clearly defined their legality. During this time I have closely followed all federal state and local regulations regarding hemp. I maintain meticulous compliance to rigorous SOPs for the verification of purchasers age and the packaging and potency requirements. Through my diligence in enforcing all regulations and the development of compliance operations and procedures throughout my years in regulated hemp sales I have gained knowledge and experience in the highly regulated hemp industry.

I have lived in Bemidji, MN (Beltrami County) for over 17+years. Beltrami County is the second poorest county in MN our bordering community Mahnomon County is recognized as the poorest. I am a wife and mother of 4. I've been an active and engaged member of my community for over a decade. I deeply care about the people of Bemidji and the surrounding communities. My knowledge and experience in owning managing and founding a business along with my knowledge and experience in operating in the regulated hemp industry have given me the skills to operate a compliant state licensed cannabis business.

Environmental plan:

Environmental plan that includes at least three (3) examples of plans to address environmental concerns. Plans may include, but are not limited to, water usage, energy consumption, solid waste disposal, or other environmental concerns identified by the applicant.

Character limit: 4,000 for each example

Example 1:

Water Usage:

Water conservation is a core priority for our business. While we will employ various water-saving techniques, the most critical factor will be our cultivation method. We will strictly adhere to all state and federal water usage regulations, including those developed by the OCM in collaboration with the Commissioner of the Pollution Control Agency, to ensure compliance with appropriate water standards for cannabis businesses. Additionally, we will follow the rules set by the OCM, in consultation with the Commissioner of Agriculture, ensuring compliance with chapters 18B, 18C, 18D, and any other laws and regulations concerning the use of pesticides, fertilizers, soil amendments, plant amendments, and other inputs necessary for cannabis cultivation. We are committed to not applying pesticides when pollinators are present and ensuring that no pesticides drift onto flowering plants that are attractive to pollinators. Our decision to grow hydroponically will play a significant role in reducing water usage. We will adopt one of the most water-efficient hydroponic systems available in agriculture, which will provide substantial savings compared to other cultivation methods. Using precision drippers in rockwool, alongside advanced substrate and environmental monitoring sensors, will allow us to apply water only when needed and in precise amounts. This approach ensures that we use the absolute minimum water necessary for plant growth.

Additionally, we plan to incorporate a recirculating water extraction machine in our manufacturing process, which will allow us to process multiple batches of ice water hash while reusing the same water. This system is 6 to 10 times more water-efficient than traditional run-to-waste ice water hash processing, further reducing our water consumption.

Beyond our cultivation and manufacturing areas, we will implement additional water-saving practices throughout the facility. These will include low-flow toilets, water-saving faucets, and other water-efficient systems. We will also prioritize the use of eco-friendly cleaning supplies whenever possible. To ensure the entire team is on board with these efforts, we will provide training to staff on water conservation best practices, fostering a collective commitment to sustainability across the business.

Example 2:

Energy Consumption:

Energy consumption is a significant consideration in cannabis cultivation, particularly in Minnesota, where the outdoor environment is not ideal for growing cannabis year-round. Due to frequent thunderstorms and high humidity levels in the summer, achieving high-quality cannabis without controlled environments such as greenhouses equipped with HVAC systems and dehumidification is challenging. For these reasons, we have chosen to cultivate our cannabis indoors, where we can maintain a more consistent and controlled environment. Cannabis efficiency experts have identified several key areas where energy conservation can make a substantial impact, and they recommend implementing these measures during the design and construction of new facilities. The primary energy consumers in cannabis cultivation are HVAC systems, dehumidification, and lighting. We will adhere to all relevant energy consumption regulations, including those developed by the OCM in consultation with the Commissioner of Commerce, to establish appropriate energy standards for cannabis businesses. One of the first major steps we will take to conserve energy is the use of LED lighting throughout all stages of plant growth. LED grow lights are up to twice as efficient as traditional agricultural lighting options like ceramic metal halide and high-pressure sodium lights. By utilizing LED lighting, we will provide our plants with the necessary light to produce high-quality cannabis while using significantly less electricity, leading to considerable energy savings. Furthermore, LED lights generate much less heat compared to traditional lighting systems. Since heat must be removed from the growing environment by air conditioning, using LED lights will reduce the overall demand on our HVAC systems, providing additional savings in energy consumption.

HVAC systems and dehumidifiers also account for a significant portion of electricity usage in cannabis cultivation. To increase the energy efficiency of our HVAC and dehumidification systems, we will employ several strategies. First, we will use insulated panel wall construction, incorporating foam-cored panels that offer superior insulation. This will greatly reduce the need for air conditioning and heating in both our cultivation and manufacturing spaces. We will also invest in energy-efficient air conditioning and dehumidifiers to further improve our energy savings. With well-insulated rooms and the heat generated by our lighting and dehumidification systems, we do not anticipate needing supplemental heating in our cultivation spaces, even during the winter months. Advanced environmental sensors and controllers will allow us to operate our dehumidification and air conditioning systems in the most precise and efficient way possible, optimizing energy use.

Beyond the cultivation area, we will continue our energy conservation efforts in our retail and office spaces. These areas will also be equipped with highly efficient LED lighting, and we will install motion-activated lighting where possible, provided it does not interfere with security requirements. Additionally, we will use energy-efficient heating and cooling systems throughout the facility. All of our buildings will be properly insulated to enhance energy efficiency. Furthermore, we will develop training programs and SOPs for our staff, promoting environmentally friendly and energy-efficient practices across all areas of the business.

Example 3:

Solid Waste Disposal,

Having a solid waste disposal program is a crucial component of our environmental strategy. Proper disposal of cannabis plants and products is essential to ensure they are rendered unusable in accordance with industry standards and OCM policies. We will adhere to all regulations set forth by the OCM in consultation with the Commissioner of the Pollution Control Agency regarding the disposal of cannabis flower, products, packaging, recyclable materials, and other solid waste. This includes meeting the minimum requirements for recyclable materials and complying with all applicable laws and rules from any governing body.

We will properly dispose of cannabis plants, cannabis flower, cannabis products, artificially derived cannabinoids, lower-potency hemp edibles, and hemp-derived consumer products that are damaged, have broken seals, are contaminated, or have passed their expiration date. Disposal will be done in a manner approved by the OCM, and any cannabis products that need to be tracked in the statewide monitoring system will be documented accordingly.

To ensure proper waste management, our business will contract with a certified garbage and recycling hauler. We will prioritize recycling and ensure that all recyclable materials are disposed of correctly, following a strict recycling policy that will have a positive impact on the environment.

Cannabis waste will be rendered unusable using industry-standard techniques or other methods as required by the OCM. If allowed by the OCM, we will destroy cannabis plants and products using the following procedures. Living cannabis plants that need to be destroyed, as well as dead plants, non-viable clones, pruned vegetative matter, unused or damaged cannabis flower, solid concentrates, or edibles, will be shredded, ground, or cut into pieces no longer than 3 inches. The shredded cannabis material will be mixed with at least 51% debris, such as yard waste, wood chips, sawdust, soil, rockwool, garbage, and other acceptable waste. The final mixture will then be disposed of by our solid waste disposal company as regular garbage or, if permitted by the OCM, as green waste.

Another method for destroying organic cannabis waste, such as plants or unused flower, is composting. If allowed by the OCM, cannabis waste will be composted in bins located within a secured area under 24-hour video surveillance until the composting process is complete. Composting cannabis waste and utilizing the city or county's green waste program are both environmentally friendly options, as they allow the used cannabis material to break down into reusable products.

We do not anticipate using harsh chemicals that would generate hazardous waste. However, should such chemicals be necessary, they will be disposed of in accordance with industry best practices and legal guidelines. We will comply with chapters 18B, 18C, 18D, and any other pesticide, fertilizer, soil amendment, and plant amendment laws enforced by the Commissioner of Agriculture. An OSHA safety data sheet for any applicable substances will be available, and we will develop appropriate training and SOPs before any such substances enter our facility.

Date:

8/15/25

Parcel Pic



FENCE - X
 PILE-ON - O
 TREE - ☁



Planning & Zoning Dept. • 317 4th Street NW
Bemidji, Minnesota 56601
Phone 218-759-3579 • Fax 218-759-3590
www.ci.bemidji.mn.us

Authorized Agent / Contact Consent Form

Section A: Authorized Agent / Contact Information

Note:

1. THIS FORM IS FOR USE ALONGSIDE CERTAIN PLANNING REQUESTS. IT CANNOT BE USED FOR OBTAINING CITY BUILDING PERMITS.
2. Form must be legible and completed in ink.
3. Check appropriate box(es). Write any specific restrictions for the checked item(s) in the space provided (e.g. "valid only for permit applications submitted between 06/01/2025 and 08/01/2025") or attach a separate sheet titled "Attachment: Restrictions" and write "see attached" below. If you want your agent to represent you on a plat, interim use permit, conditional use permit or variance application and also be authorized to obtain the related land-use permit, be sure to complete the "application" section as well. If an item's box is checked and the accompanying space is left blank, the authorization granted on that item is valid for a period of one year from the date of signature, or until City staff receive written notification from the property owner(s) stating otherwise, or the property ownership changes.

I (we), Matthew P Berge hereby authorize Anthony LaVoy to act
(Landowner, print) (Agent, print)

as my (our) agent on the following item(s): *complete the appropriate item(s)*

- Application: Land Use Fence Sign Environmental Alteration Short-Term Rental
- Lot Combination/Division/Realignment Other: _____

(Write in restrictions): _____

- Plat application: _____
- Interim/Conditional Use Permit application: _____
- Variance application: _____
- Development Agreement: _____

on my (our) property located at:

Tax Parcel Number(s): 800420400

Physical Site Address: 920 Washington Ave S.

Agent / Contact Information

Agent address: Po Box 1004 Bemidji MN 56219
Street City State Zip Code

Agent Name(s): Anthony LaVoy

Agent phone #: 218-261-1277 Agent email address: anthony@MNRealtyExpert.com

Revised 5/7/2025

Section B: Short-Term Rentals; Contact Consent Form

Note: This section only applies to short-term rental licenses

Local Contact & Authorized Agent Consent

As the Authorized Agent and Local Contact, you agree to the following terms as stated in the short-term rental ordinance.

- Authorize the City of Bemidji to contact you and release your contact information to the property owners within the required notification range of the above short-term rental property.
- Consent to be the contact for complaints from said property owners, local government staff, and local law enforcement 24 hours a day.
- Understand that you shall record, report, and rectify the complaints for this short-term rental.
- The property owner and Local Contact & Authorized Agent of the short-term rental must notify City staff within ten (10) days of a change in Local Contact and a new Authorized Agent form must be signed.
- Must reside within 30 minutes of the short-term rental.
- Consent to following and maintaining the short-term rental in accordance with all conditions placed on the license.

This form runs with the length of the short-term rental license and expires on December 31st of that year. Reauthorization must be filed within 30 days before end of term.

Section C: Signatures for all sections

<small>Authenticign</small>	<i>Matthew P Berge</i>	Matthew P Berge	10/29/25
	Property Owner(s) Signature	Property Owner Printed Name	Date

<i>Anthony LaVoy</i>	Anthony LaVoy	10/2/25
Local Contact & Authorized Agent Signature	Contact Printed Name	Date

Revised 5/7/2025



Authorized Agent / Contact Consent Form

Section A: Authorized Agent / Contact Information

Note:

1. THIS FORM IS FOR USE ALONGSIDE CERTAIN PLANNING REQUESTS. IT CANNOT BE USED FOR OBTAINING CITY BUILDING PERMITS.
2. Form must be legible and completed in ink.
3. Check appropriate box(es). Write any specific restrictions for the checked item(s) in the space provided (e.g. "valid only for permit applications submitted between 06/01/2025 and 08/01/2025") or attach a separate sheet titled "Attachment: Restrictions" and write "see attached" below. If you want your agent to represent you on a plat, interim use permit, conditional use permit or variance application and also be authorized to obtain the related land-use permit, be sure to complete the "application" section as well. If an item's box is checked and the accompanying space is left blank, the authorization granted on that item is valid for a period of one year from the date of signature, or until City staff receive written notification from the property owner(s) stating otherwise, or the property ownership changes.

I (we), Autry 2-Ly hereby authorize ANTHONY LAVOY to act
(Landowner, print) *(Agent, print)*

as my (our) agent on the following item(s): *complete the appropriate item(s)*

Application: Land Use Fence Sign Environmental Alteration Short-Term Rental
 Lot Combination/Division/Realignment Other: _____

(Write in restrictions): _____

- Plat application: _____
- Interim/Conditional Use Permit application: JULIE CANTY
- Variance application: _____
- Development Agreement: _____

on my (our) property located at:

Tax Parcel Number(s): 800420400

Physical Site Address: 920 Washington Ave S.

Agent / Contact Information

Agent address: PO Box 1004 Bemidji MN 56619
Street City State Zip Code

Agent Name(s): ANTHONY LAVOY

Agent phone #: 218 261 1137 Agent email address: ANTHONY@MNREALTYEXPERT.COM

Section B: Short-Term Rentals; Contact Consent Form

Note: This section only applies to short-term rental licenses

Local Contact & Authorized Agent Consent.

As the Authorized Agent and Local Contact, you agree to the following terms as stated in the short-term rental ordinance.

- Authorize the City of Bemidji to contact you and release your contact information to the property owners within the required notification range of the above short-term rental property.
- Consent to be the contact for complaints from said property owners, local government staff, and local law enforcement 24 hours a day.
- Understand that you shall record, report, and rectify the complaints for this short-term rental.
- The property owner and Local Contact & Authorized Agent of the short-term rental must notify City staff within ten (10) days of a change in Local Contact and a new Authorized Agent form must be signed.
- Must reside within 30 minutes of the short-term rental.
- Consent to following and maintaining the short-term rental in accordance with all conditions placed on the license.

This form runs with the length of the short-term rental license and expires on December 31st of that year. Reauthorization must be filed within 30 days before end of term.

Section C: Signatures for all sections

Anthony LaVoy

Anthony LaVoy

10/30/2025

Property Owner(s) Signature

Property Owner Printed Name

Date

Property Owner(s) Signature

Property Owner Printed Name

Date

J. Canty

J. CANTY

10/31/2025

Local Contact & Authorized Agent Signature

Contact Printed Name

Date



Planning and Zoning Department
City of Bemidji

317 4th Street NW Bemidji, MN 56601 Office (218) 759-3579 Fax (218) 759-3591

November 5, 2025

SUP-2025-0013: - Julie Canty representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 800420400) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay and Cannabis (Day Care Center) overlay.

The City of Bemidji Planning and Zoning Commission will consider this proposal at its meeting on **Thursday, November 20, 2025, at 5:30 p.m.** in the Council Chambers at Bemidji City Hall and may be viewed on local Channel 2.

If you have any comments, you may present them to the Commission at that time. It would be encouraged to direct your comments in writing to the Planning and Zoning Planner assigned to the Case, Melissa Fahrenbruch's attention at the Planning office at 317 4th Street NW, or by email at **SGAdmin@ci.bemidji.mn.us**. If possible, your comments should be submitted by **Friday, November 14, 2025**, so they may be incorporated into our report to the Planning and Zoning Commission. The report, along with any other pertinent information regarding this planning case will be available prior to the meeting on our website ([City of Bemidji/Boards, Commissions, and Committees/Planning Commission](#)) and at city hall. Attached is a copy of the application and other supporting documentation.

If you have any questions or need further information, please feel free to contact our office at 218-759-3579 or email the planner assigned to the case (see email address above). City departments may access through SmartGov application **SUP-2025-0013**.

Respectfully,

Melissa Fahrenbruch
Assistant Planner
City of Bemidji Planning and Zoning Department



Planning & Zoning Department
City of Bemidji

317 4th Street NW Bemidji, MN 56601 Office (218) 759-3579 Fax (218) 759-3591

November 7, 2025

Dear Property Owner:

The City of Bemidji Planning and Zoning Commission will conduct a public hearing to discuss the following application:

SUP-2025-0013: - Julie Canty representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 800420400) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay and Cannabis (Day Care Center) overlay.

This public hearing will be held on **Thursday, November 20, 2025, at 5:30 p.m.** The meeting will be held in the Council Chambers of the Bemidji City Hall located at 317 4th Street NW and may be viewed on local Channel 2. You are invited to attend this public hearing, express your opinions on the proposal at the hearing, if not able to attend, by email (preferred method), letter, or phone call to the Planning and Zoning Department. If possible, your written comments should be submitted by **Friday, November 14, 2025**, so they may be incorporated into our report to the Planning Commission. **Our report, along with any other pertinent information regarding this planning case will be available prior to the meeting on our website ([City of Bemidji/Boards, Commissions, and Committees/Planning Commission](#)) and at city hall.**

If you have any questions, please feel free to contact us at (218) 759-3579, or email comments to **SGAdmin@ci.bemidji.mn.us**.

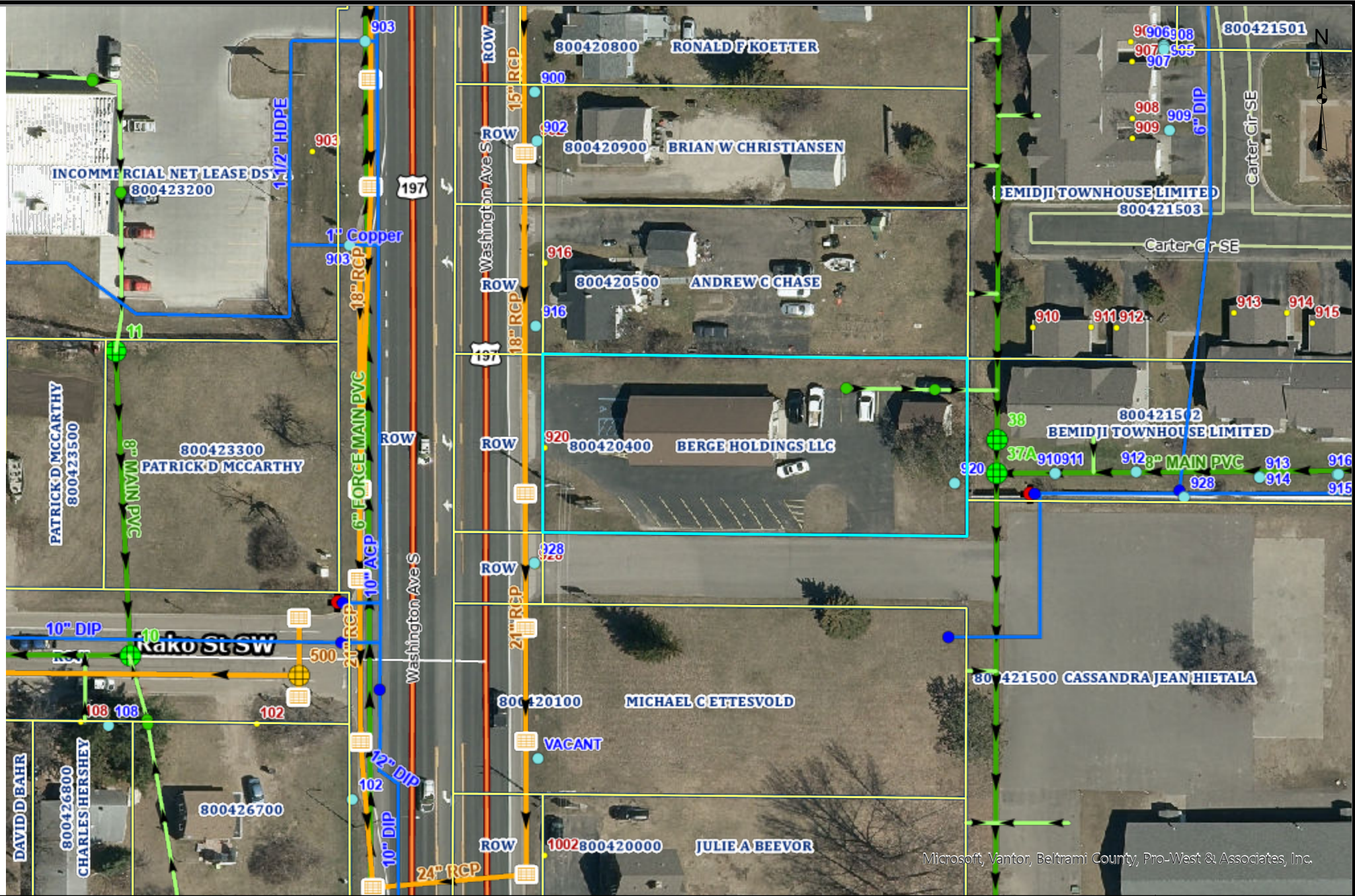
Respectfully,

Planning and Zoning Staff

Packet Distribution List

SUP-2025-0013- First City Cannabis

	<u>Contact</u>	<u>E-MAILED</u>	<u>US Mailed</u>
<input checked="" type="checkbox"/>	Applicant / Representative	11/5/25	_____
<input checked="" type="checkbox"/>	City Building Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Attorney (Planning)	11/5/25	_____
<input checked="" type="checkbox"/>	City Engineer	11/5/25	_____
<input checked="" type="checkbox"/>	City Manager	11/5/25	_____
<input type="checkbox"/>	City Community Development	_____	_____
<input checked="" type="checkbox"/>	City GIS Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Police Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Fire Department	11/5/25	_____
<input type="checkbox"/>	City Parks Department	_____	_____
<input type="checkbox"/>	Beltrami County ESD/SWCD	_____	_____
<input type="checkbox"/>	Beltrami County Recorder	_____	_____
<input type="checkbox"/>	Beltrami County GIS Department	_____	_____
<input type="checkbox"/>	Beltrami County Sheriff	_____	_____
<input type="checkbox"/>	Beltrami County Engineer / Highway	_____	_____
<input type="checkbox"/>	Beltrami County Natural Resources	_____	_____
<input type="checkbox"/>	MnDNR Trails	_____	_____
<input type="checkbox"/>	MnDNR Waters	_____	_____
<input type="checkbox"/>	MnDNR District	_____	_____
<input checked="" type="checkbox"/>	MnDOT	11/5/25	_____
<input type="checkbox"/>	Airport	_____	_____
<input type="checkbox"/>	Bemidji School District	_____	_____
<input type="checkbox"/>	MPCA Closed Landfill Program	_____	_____
<input type="checkbox"/>	U.S. Army Corps of Engineers	_____	_____
<input type="checkbox"/>	Minnesota Chippewa Tribe	_____	_____
<input type="checkbox"/>	Red Lake Nation DNR	_____	_____
<input type="checkbox"/>	White Earth Nation DNR	_____	_____
<input type="checkbox"/>	Leech Lake Band DRM	_____	_____
<input checked="" type="checkbox"/>	Bemidji Sustainability Commission	11/5/25	_____
<input type="checkbox"/>	Other:	_____	_____



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Aerial Map

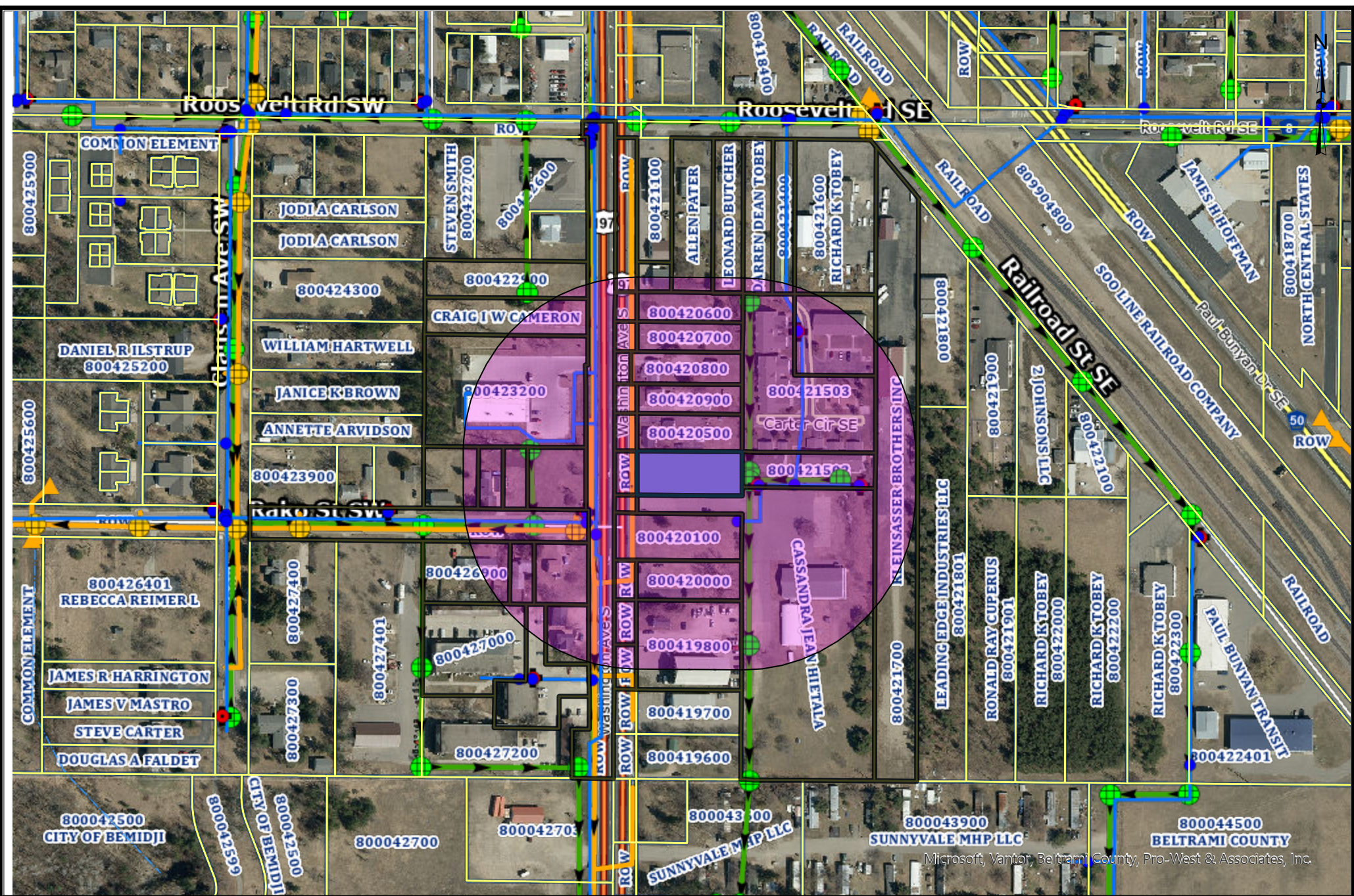
1:1,128

Date: 11/5/2025

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.

Page 112 of 172

Microsoft, Vantor, Beltrami County, Pro-West & Associates, Inc.



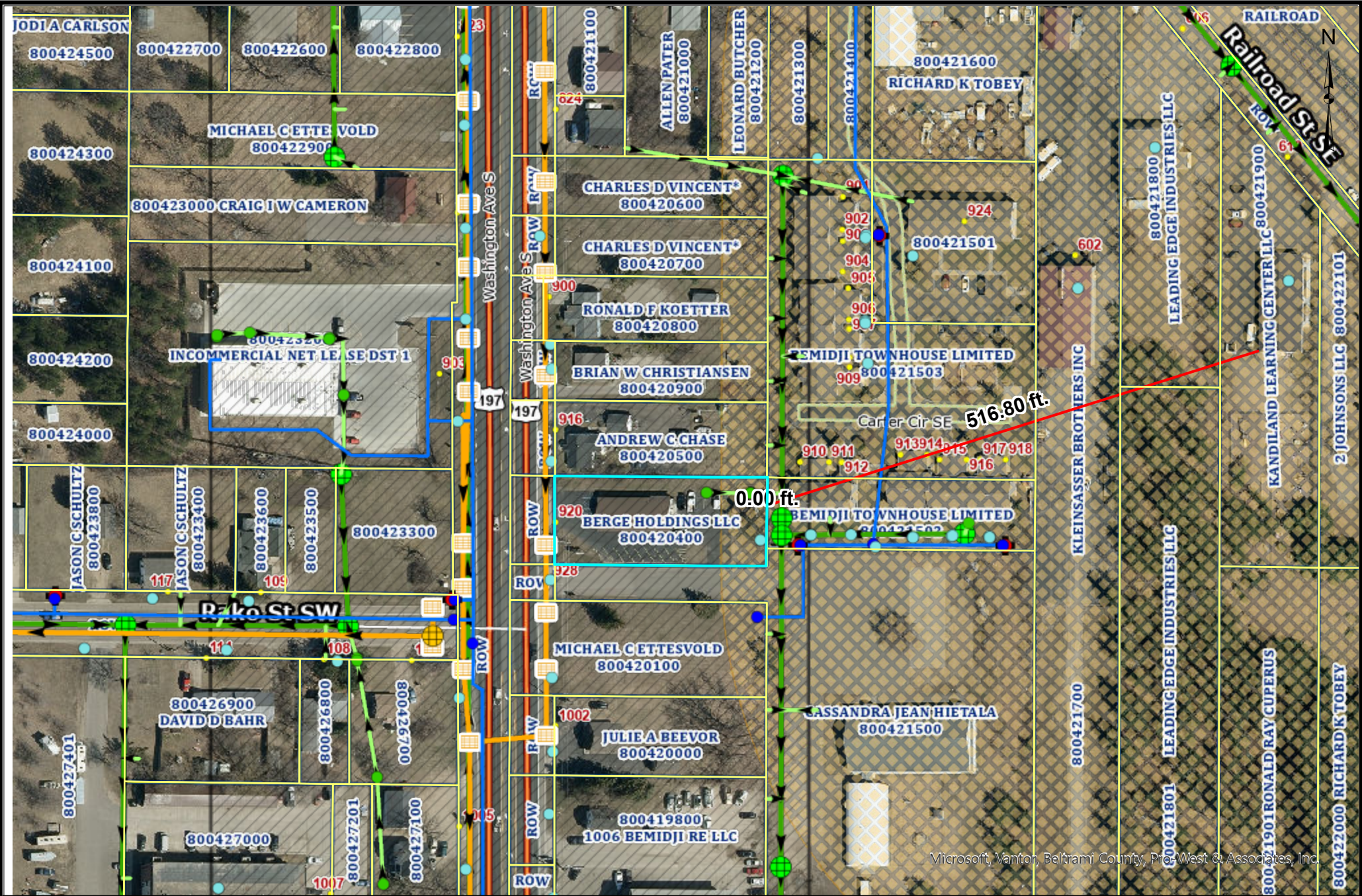
These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Buffer Map

1:4,514

Date: 11/5/2025

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

1:2,257

Cannabis Overlay Map

Date: 11/5/2025



This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.

BEMIDJI TOWNHOUSE LIMITED
PARTNERSHIP
609 9TH ST N
SARTELL, MN 56377

ANDREW C CHASE
DONNELLE M WASHINGTON
916 WASHINGTON AVE S
BEMIDJI, MN 56601

PATRICK D MCCARTHY
HELEN MCCARTHY
215 PAUL BUNYAN DR NW
BEMIDJI, MN 56601

LEONARD BUTCHER
412 ROOSEVELT RD SE
BEMIDJI, MN 56601

KLEINSASSER BROTHERS INC
602 RAILROAD ST SE
BEMIDJI, MN 56601

RONALD F KOETTER
5200 SHERMAN DR NE
BEMIDJI, MN 56601

BERGE HOLDINGS LLC
51344 WHIPPORWILL RD
BEMIDJI, MN 56601

BRIAN W CHRISTIANSEN
SHELLY M CHRISTIANSEN
2607 N PLANTAGENET RD SW
BEMIDJI, MN 56601

CHARLES D VINCENT*
LINDA L VINCENT
3758 COUNTRY FIELD LN SW
BEMIDJI, MN 56601

R & W PARTNERS LTD PARTNERSHIP
609 9TH ST N
SARTELL, MN 56377

CASSANDRA JEAN HIETALA
928 WASHINGTON AVE S
BEMIDJI, MN 56601

1006 BEMIDJI RE LLC
PO BOX 7455
SAINT CLOUD, MN 56302

VISION PROPERTIES OF BMDJI LLC
9862 S GULL LAKE RD NE
TENSTRIKE, MN 56683

CRAIG I W CAMERON
MARY E ANDERSON
3319 HIGHLAND DR NE
BEMIDJI, MN 56601

DAVID D BAHR
STACEY G BAHR
114 RAKO ST SW
BEMIDJI, MN 56601

MICHAEL C ETTESVOLD
LINDA A ETTESVOLD
406 RAKO ST SW
BEMIDJI, MN 56601

RICHARD K TOBEY
2412 LAKE AVE NE
BEMIDJI, MN 56601

CENTURY APARTMENTS OF BEMIDJI
LLC
PO BOX 902
MOORHEAD, MN 56561

INCOMMERCIAL NET LEASE DST 1
117 N JEFFERSON ST
CHICAGO, IL 60661

IRVIN S REEVES
8333 BRIAN CT NE
BEMIDJI, MN 56601

ALLEN PATER
402 ROOSEVELT RD SE
BEMIDJI, MN 56601

CHARLES HERSHEY
108 RAKO ST SW
BEMIDJI, MN 56601

DARREN DEAN TOBEY
424 ROOSEVELT RD SE
BEMIDJI, MN 56601

JULIE A BEEVOR
JOSEPH A BEEVOR
50896 VINEWOOD RD
BEMIDJI, MN 56601

JASON C SCHULTZ
117 RAKO ST SW
BEMIDJI, MN 56601



AFFIDAVIT OF PUBLICATION

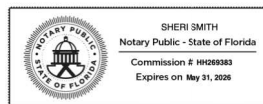
State of Florida, County of Broward, ss:

Anjana Bhadoriya, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of the The Bemidji Pioneer, a newspaper printed and published in the City of Bemidji, County of Beltrami, State of Minnesota.

1. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.
2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.
3. The dates of the month and the year and the day of the week upon which the public notice attached/copied below was published in the newspaper are as follows: Saturday, November 8, 2025
4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to §331A.06, is as follows: \$13.00 per column inch.
5. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in BELTRAMI County. The newspaper complies with conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

Anjana Bhadoriya

(Signed) _____



VERIFICATION

State of Florida
County of Broward

Subscribed in my presence and sworn to before me on this: 11/10/2025

S. Smith

Notary Public

Notarized remotely online using communication technology via Proof.

CITY OF BEMIDJI PLANNING AND ZONING COMMISSION

NOTICE OF PUBLIC HEARINGS & MEETINGS

NOTICE IS HEREBY GIVEN that on Thursday, November 20, 2025, at 5:30 PM or as soon thereafter as possible, the City of Bemidji Planning and Zoning Commission will conduct a Public Hearing in-person in the Council Chambers of Bemidji City Hall, located at 317 4th St. NW, Bemidji MN, and broadcasted on Channel 2, regarding the following request(s):

Conditional Use Permit Request: Ben Kerr representing Kodiak Builders, LLC requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

Conditional Use Permit Request: Greg Johnson representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 29 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 80008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

Interim Use Permit Request: Julie Canty representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 800420400) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay and Cannabis (Day Care Center) overlay.

Rezzone and Conditional Use Permit Request: Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezzone) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

Ordinance Text Amendment – City of Bemidji is requesting to amend the text of Chapter 28 of the Bemidji City Code Entitled "Development Code", Specifically amending Article X Performance Standards, Section 28-429 Cannabis Zoning and Land Use.

All interested parties are invited to attend the public hearing(s) and comment on the proposal(s). If you are unable to attend in person, comments can be submitted by email to SCAdmin@ci.bemidji.mn.us (preferred method), letter, or phone call to the Planning and Zoning Department. Call 218-759-3579 or visit our website at www.ci.bemidji.mn.us

for more information. If possible, your written comments should be submitted by **Friday, November 14, 2025**, so they may be incorporated into the staff report to the Planning Commission.
(Nov. 8, 2025)



CITY OF BEMIDJI PLANNING AND ZONING COMMISSION

NOTICE OF PUBLIC HEARINGS & MEETINGS

NOTICE IS HEREBY GIVEN that on Thursday, December 18, 2025, at 5:30 PM or as soon thereafter as possible, the City of Bemidji Planning and Zoning Commission will conduct a Public Hearing in-person in the Council Chambers of Bemidji City Hall, located at 317 4th St. NW, Bemidji, MN, and broadcasted on Channel 2, regarding the following request(s):

Conditional Use Permit Request: Ben Kerr representing Kodiak Builders, LLC requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

Conditional Use Permit Request: Greg Johnson representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 29 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 800008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

Interim Use Permit Request: Julie Canby representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 800420400) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay and Cannabis (Day Care Center) overlay.

Rezoned and Conditional Use Permit Request: Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezoned) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

Ordinance Text Amendment - City of Bemidji is requesting to amend the text of Chapter 28 of the Bemidji City Code Entitled "Development Code". Specifically amending Article X Performance Standards, Section 28-429 Cannabis Zoning and Land Use.

All interested parties are invited to attend the public hearing(s) and comment on the proposal(s). If you are unable to attend in person, comments can be submitted by email to SGAdmin@ci.bemidji.mn.us (preferred method), letter, or phone call to the Planning and Zoning Department. Call 218-759-3579 or visit our website at www.ci.bemidji.mn.us

AFFIDAVIT OF PUBLICATION

State of Florida, County of Orange, ss:

Edmar Corachia, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of the The Bemidji Pioneer, a newspaper printed and published in the City of Bemidji, County of Beltrami, State of Minnesota.

- 1. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.
2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.
3. The dates of the month and the year and the day of the week upon which the public notice attached/copied below was published in the newspaper are as follows: Saturday, December 6, 2025
4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to §331A.06, is as follows: \$13.00 per column inch.
5. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in BELTRAMI County. The newspaper complies with conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

Edmar Corachia

(Signed) _____

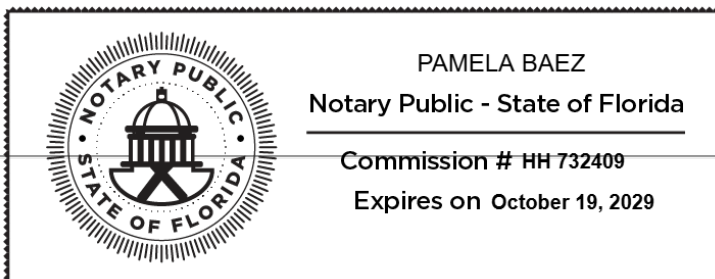
VERIFICATION

State of Florida
County of Orange

Subscribed in my presence and sworn to before me on this: 12/08/2025

[Signature]

Notary Public
Notarized remotely online using communication technology via Proof.



for more information. If possible, your written comments should be submitted by **Friday, December 12, 2025**, so they may be incorporated into the staff report to the Planning Commission.
(Dec. 6, 2025)

Jamin Carlson

From: Cassandra Hietala <gymbincassandra@gmail.com>
Sent: Thursday, November 13, 2025 9:53 PM
To: SGAdmin
Subject: Opposition to Proposed Cannabis Retail Business Adjacent to The Gym Bin

[EXTERNAL]

To:
The City of Bemidji Planning and Zoning Commission

Subject: Opposition to Proposed Cannabis Retail Business Adjacent to The Gym Bin

Dear Members of the Planning and Zoning Department,

As the owner of The Gym Bin, I am writing to strongly oppose the proposed Cannabis Retail Business that would be located immediately next to the entrance of The Gym Bin at 928 Washington Ave S, Bemidji.

For almost 40 years, The Gym Bin has been serving the community of Bemidji by providing recreational space, classes, and competitive gymnastics, for youth ages 1 through 18. Our mission is to provide a safe, healthy, and encouraging environment where children of all genders, races, and socioeconomic statuses, can build strength, confidence, and discipline in a positive atmosphere.

At The Gym Bin, we welcome over 400 youth every week. During week days, you may see anywhere from 60 to 140 students entering our doors for daily classes. Throughout the year, we host approximately 120 birthday parties, each averaging 10 or more children. The Gym Bin is a popular field trip location for several surrounding daycares and elementary schools, hosting about 40 school field trips a year, drawing in roughly 50 students per visit. In addition, we offer regular open gym opportunities two mornings a week and one to two Saturdays each month, essentially acting as an indoor park for the community. These programs run throughout the entire school year, with slightly adjusted schedules over the summer months, ensuring that our doors are open to children and families nearly every week of the year. In short, our facility is a year-round facility that hundreds of children and families rely on for safe recreation, physical activity, and socialization for our youth.

The proposed cannabis retail business would directly border The Gym Bin's property. This is not a case of being across the street or down the block—our properties physically touch. The cannabis retail business would be located immediately beside our only driveway, which every family must use to enter and exit our facility. That means each day, dozens of young children and teens would be exposed to this business as part of their normal routine.

Our city's ordinance establishes buffer zones intended to protect children by prohibiting cannabis businesses within certain distances of schools, daycare centers, and public park attractions used by minors. The intent of this ordinance is clear: to prevent marijuana-related establishments from operating near spaces where children gather, play, or learn.

As a facility that directly serves children ages 1 through 18, how could we not be included in those same protections? We are not only comparable to the spaces listed in the ordinance—we actively fulfill the same role in our community. We not only provide space for recreation, but teach, mentor, and care for daycare and school aged children, many of whom are dropped off and entrusted to our supervision for extended periods.

Our connection to the Bemidji High School community further underscores this point. The Gym Bin serves as the official practice and competition facility for the Bemidji Lumberjack Gymnastics Team, which is a part of

the Minnesota State High School League. We regularly host all practices, and MSHL sanctioned meets, meaning our facility operates as a functional extension of the school itself.

Beyond the legal and ethical issues, this proposed location raises serious safety concerns. Our gymnasts, along with staff, many of whom are minors, frequently leave practice after dark—sometimes as late as 8:30 p.m.—to walk to their own cars if they are of driving age, or to their parents' cars in the parking lot. Increased traffic, unfamiliar visitors, and adult clientele from a cannabis retail business next door would create an unsafe environment for these minors at night.

This proposed cannabis retail business location conflicts with both the spirit and purpose of our city's cannabis buffer zone ordinance and undermines the community's responsibility to protect its youth. I respectfully urge the Commission to deny approval for this location and uphold the intent of the ordinance—to safeguard children and preserve the integrity of child-centered spaces in Bemidji.

Thank you for your time, your consideration, and your dedication to the well-being of Bemidji's children and families.

Respectfully,
Cassandra Hietala
Owner, The Gym Bin
gymbincassandra@gmail.com

Jennifer Thomas
2715 Beltrami Ave NW
Bemidji, MN 56601
Jennifer.72@outlook.com
218-434-0335

11/17/2025

To Whom It May Concern,

I am writing to express my concern regarding the proposed lease of a cannabis distribution business near the Gym Bin, 928 Washington Ave S, a gymnastics club that serves children and young families. While I respect the legality of cannabis-related businesses and understand their role in the community, I believe the placement of this particular operation raises significant issues that deserve careful reconsideration.

The gymnastics facility next to the proposed site is frequented daily by minors of all ages. Parents, guardians, and coaches rely on this space to provide a safe, healthy, and family-centered environment. Introducing a cannabis distributor immediately next door has a potential to create confusion, discomfort, and concern for families who may be apprehensive about increased traffic, unfamiliar visitors, product transportation, or the overall perception of safety around the facility.

My concerns include, but are not limited to:

- The appropriateness of situating an adult focused business in direct proximity to a children's athletic field.
- Concern for the High School Gymnastics team as they practice daily during season and host home meets at the Gym Bin.
- Potential increases in vehicle traffic or parking congestion during peak drop-off and pick-up times. Including many youthful drivers trying to get to and from practice.
- The possibility of odor, advertising, or signage that may be inappropriate near a youth centered environment.
- Parental concern and the potential loss of trust in the area as a safe place for children's activities.

Again, this is not a statement against cannabis businesses as a whole, but rather a request for thoughtful consideration of location. Placing this type of business beside a facility dedicated to children's physical development and wellbeing feels incompatible and avoidable.

I respectfully ask that you reconsider the proposed lease or explore alternative locations more suitable for this type of operation. The existing Bemidji ordinance and Minnesota state law empower local decision makers precisely to make such judgments. Protecting the integrity and safety of a space designated for children should be a top priority.

Thank you for your time and attention to this matter.

Sincerely,

Jennifer Thomas

(A gymnastics mom for the last 6 years and many years to come. My daughters, Aydah Fultz, on the Bemidji High School gymnastics team and Halle Fultz, a gold level gymnast/Bemidji Gymnastics Club member.)

COMMENTS RECEIVED AFTER 11/17/2025

Jamin Carlson

From: Jenny Watrud-Smith <jenny7ann@yahoo.com>
Sent: Tuesday, November 18, 2025 10:19 AM
To: Jamin Carlson; Melissa Fahrenbruch; Ainslee Krause; David Wielenberg; Jorge Prince; Gwenia Fiskevold Gould; Josh Peterson; Mark Dickinson; Emelie Rivera; Lynn Eaton; Audrey Thayer
Subject: Proposed lease of Wausau Homes

[EXTERNAL]

To the Bemidji Planning Commission Members,

I am writing to express my concern regarding the proposed leasing of the former Wausau Homes building, located next to the Gym Bin driveway, to a cannabis retail business. While I understand the importance of supporting local economic growth, the specific location of this proposed business raises significant safety and community well-being concerns.

This site is directly adjacent to areas regularly used by children and families, including the High School Gymnastics team's practice and competition space. Placing an adult-focused business in such close proximity to minors creates an environment that may not align with the family-centered nature of our community.

Additionally, the placement of a cannabis retail establishment at this location may lead to:

- Increased vehicle traffic in an already busy area used heavily by students and families.
- Inappropriate advertising or signage in a youth-centered environment.
- Proximity to family housing, which is located directly behind the building.
- Added congestion and safety risks during school practices, meets, and community activities.

I respectfully request that the commission reconsider approving this location for a cannabis retail business and explore alternative sites better suited for adult-oriented

commerce. This decision has the potential to impact not only the daily activities of our youth but the broader safety and comfort of families who rely on these shared community spaces.

Thank you for your time, consideration, and commitment to the well-being of Bemidji residents. I appreciate your attention to this matter and your continued efforts to ensure thoughtful community planning.

Thank you
Jenny Smith

[Sent from Yahoo Mail for iPhone](#)

Jamin Carlson

From: Emelie Rivera
Sent: Tuesday, November 18, 2025 8:01 AM
To: Sandy Hennum; Jamin Carlson; Ainslee Krause
Subject: Re: Cannabis zoning and land use

Hello Sandy,

I am forwarding this to our planning department. I appreciate you taking the time to share your concerns.

Emelie

Get [Outlook for iOS](#)

From: Sandy Hennum <hennumconsulting@gmail.com>
Sent: Monday, November 17, 2025 2:21:21 PM
To: Jorge Prince <Jorge.Prince@ci.bemidji.mn.us>; Gwenia Fiskevold Gould <Gwenia.FiskevoldGould@ci.bemidji.mn.us>; Josh Peterson <Josh.Peterson@ci.bemidji.mn.us>; Mark Dickinson <Mark.Dickinson@ci.bemidji.mn.us>; Emelie Rivera <Emelie.Rivera@ci.bemidji.mn.us>; Lynn Eaton <Lynn.Eaton@ci.bemidji.mn.us>; Audrey Thayer <Audrey.Thayer@ci.bemidji.mn.us>
Subject: Cannabis zoning and land use

[EXTERNAL]

Sandy Hennum
3601 Waville RD NE
Bemidji, MN 56601
hennumconsulting@gmail.com
218-766-4483
Co Head Coach Bemidji Lumberjacks Gymnastic Team

Planning Commission
Bemidji, MN 56601
Re: Cannabis Zoning Restriction Within 750 Feet of a School Zone & District 31 Lease Use

Dear Members of the Planning Commission,

I am writing to formally express concern regarding the proposed cannabis-related zoning and land use at 920 Washington Ave Bemidji, MN. Under current regulations, cannabis zoning and land use are **not permitted within 750 feet of a designated school zone**. This distance restriction exists to protect the safety and well-being of students and the broader community.

It is important to note that **District 31 has held a lease with The Gym Bin since 1993**, with the stated purpose **“to be used by the Tenant for School Activities.”** This long-standing lease establishes The Gym Bin as a location utilized for official school purposes, thereby placing it squarely within the definition of a school zone for regulatory and zoning considerations.

Because the Gym Bin functions as an extension of District 31's educational and activity space, any cannabis-related business or land use within 750 feet would directly conflict with the zoning restrictions intended to safeguard areas utilized by students.

For these reasons, I respectfully request that the Planning Commission uphold the established zoning regulations and deny any cannabis-related zoning or land-use requests within this restricted area.

Thank you for your attention and for your continued commitment to the safety of our community. Please feel free to contact me if further information is needed.

Sincerely,
Sandy Hennem

--



Received

11/18/2025 6:00:27 PM

Dear Bemidji City Council,

I am writing to express my deep concern about the proposal to establish a cannabis business directly next door to the Bemidji Gymnastics Gym Bin. As a parent and an active member of this community, I feel compelled to share why I strongly oppose this location choice for this type of facility.

My colleagues three daughters spend several hours each week at the gym—training, learning discipline, building confidence, and being part of a positive and healthy environment. Families trust this space to be safe, uplifting, and focused entirely on child development. A cannabis business operating immediately next door introduces concerns that are simply not compatible with a youth-centered facility.

While I recognize that legal cannabis businesses have a right to operate, the location matters. The presence of such a business so close to a children’s activity center raises issues regarding increased traffic, unfamiliar individuals coming and going, potential odors, and the perception this creates for young athletes and their families. Many parents, myself included, work very hard to ensure that the places our children frequent encourage healthy habits and send clear messages about safety and responsibility.

This is not about opposing the industry itself—it is about maintaining an appropriate and family-friendly environment around a youth facility. Placing a cannabis shop beside a children’s gym creates unnecessary risks and discomfort for parents who simply want a safe, focused space for their kids.

I respectfully ask that you reconsider this proposed location and seek an alternative that does not directly impact a business dedicated to children’s health, growth, and wellbeing. Our kids deserve spaces that feel secure, supportive, and free from conflicting influences.

Thank you for taking the time to consider my concerns. I hope you will make a decision that prioritizes the safety and comfort of the families who rely on this gym every day.

Sincerely,

Hannah Johnson

Melissa Fahrenbruch

From: Gwen Farris <gwenf3301@gmail.com>
Sent: Wednesday, November 19, 2025 8:45 AM
To: Melissa Fahrenbruch
Subject: Letter of concern

[EXTERNAL]

Dear Ms. Fahrenbruch, I've recently learned of a cannabis business wanting to set up next to the Gym Bin. I have three granddaughters who go there for gymnastics. Common sense dictates how dangerous and negligent this is. I can't believe this is even an option on the table. As I wrote Ms. Carlson, I hope there is a legality that prevents cannabis businesses from opening shop so close to places for children. Thank you, sincerely Gwen Farris

From: Kali Forbes <kforbes@trustarfcu.com>
Sent: Monday, November 24, 2025 3:57 PM
To: Jamin Carlson; Melissa Fahrenbruch; David Wielenberg; Ainslee Krause
Subject: Concerns Regarding Proposed Cannabis Shop Location Adjacent to Youth Gymnastics Facility

[EXTERNAL]

Dear Members of the City Council,

I am writing as a concerned parent and community member regarding the proposed opening of a cannabis retail shop next door to our local girls' gymnastics organization. As a mother of two daughters who spend countless hours at this gym—often late into the evening—I feel compelled to share the anxiety and fear this proposal brings to families like mine.

This facility is a safe space for young athletes to train, grow, and build confidence. Many times, due to staffing limitations, there are periods when supervision is minimal, and parents rely on the surrounding environment to remain secure and family-friendly. Placing a cannabis shop immediately adjacent to this youth-focused organization raises serious concerns about:

- **Safety and Exposure:** Increased foot traffic and potential loitering near the gym could compromise the sense of security for children and parents.
- **Community Standards:** The proximity of a cannabis business to a youth facility sends a conflicting message about our priorities for protecting and nurturing young people.
- **Late Hours:** With practices often running into the evening, parents worry about interactions between minors and individuals visiting the shop during those times.

I respectfully urge the council to reconsider this location and explore alternatives that do not place a cannabis business next to a facility dedicated to children. Our community thrives when we prioritize the safety and well-being of our youth, and I believe this decision is critical to maintaining that standard.

Thank you for your time and consideration. I appreciate your commitment to listening to community voices on this important matter.

Sincerely,
Kali Forbes

Kali Forbes Consumer Loan Officer

2313 TruStar Ave NW Bemidji, MN 56601

Ph: 218-524-3212 | Cell: 218-766-0079

www.trustarfcu.com



CONFIDENTIALITY NOTICE: The information contained in this e-mail transmission and any attachment is confidential and remains the property of TruStar Federal Credit Union until it is received by the intended recipient. If you are not the intended recipient, please note that use, further transmission, or disclosure of this communication is strictly prohibited. If you have received this communication in error, delete it from your computer without retaining any copies. In addition, please note that e-mail transmission cannot be guaranteed to be secure or error-free as information could be lost, changed, or corrupted, or contain viruses. TruStar does not accept liability for any errors or omissions in the contents of this message which may result from this e-mail transmission. Thank you for your cooperation.

Received
12/03/2025 1:32:14 PM

Frances Kiefer
3700 Minnesota Ave. NW
Bemidji, MN 56601

FARGO ND 581

DEC 2025 PM 1 L



1775★2025

Planning Commis.
Cory Hall
317 4th Street NW
Bemidji, MN
56601

Re: Cannabis Shop

As a citizen of Bemidji I see no reason
to allow a cannabis shop in city limits.
As a retired RN I see marijuana as
a drug that causes hallucinations,
we have no way of preventing people
from driving while they are using this
drug. Marijuana causes long damage from
being inhaled and can be an addictive drug
causing life time brain damage and
leading to dependence on our drug bills
to share the substance.

Thank you,
Frances Kiefer
3700 Minnesota Ave NW
Bemidji MN
56601

The City of Bemidji Planning Board

PLANNING CASE: ZOA-2025-0004 & SUP-2025-0014	COMMISSION MEETING DATE: November 20 th , 2025 Postponed to December 18, 2025
APPLICANT: Andrew Erholtz representing Vision Properties of Bemidji	60-DAY RULE DATE: December 30 th , 2025 60-Day Rule Extension Date: February 28, 2026
PROCEEDING: Rezone from R-4 Moderate to B-2 General Commercial & a Conditional Use Permit (CUP) for mixed-use (residential & commercial)	ZONING DISTRICT: (R-4) Moderate Density Residential
PREPARED BY: Jamin Carlson Planning Director	EXHIBITS: Zoning Map, Future Land Use Map, Aerial Map, Application, Site Plan, Supporting Documentation

PLANNING REPORT

SUMMARY OF REQUEST

ZOA-2025-0004 & SUP-2025-0014: - Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezone) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

BACKGROUND

City staff met with Mr. Erholtz (Applicant) to discuss rezoning and a conditional use permit for potential mixed-use along with building code requirements at the property. The current zone would change from R-4 Moderate Density Residential to B-2 General Commercial. The 506 6th St SE property has most recently operated as the New Life United Pentecost Church and is situated between 6th St SE and Paul Bunyan Drive SE. The property has an existing church building, a residential house, and garage.

The Applicant requests a rezoning of the property to B-2 General Commercial to allow for office space in the existing church and a conditional use permit (CUP) for mixed-use (for the existing house for residential). This parcel along with the two vacant parcels had a rezone request denied in spring of 2024 by the planning board. This request is only for the parcel abutting Paul Bunyan Dr. SE.

DISCUSSION/DEVELOPMENT ANALYSIS

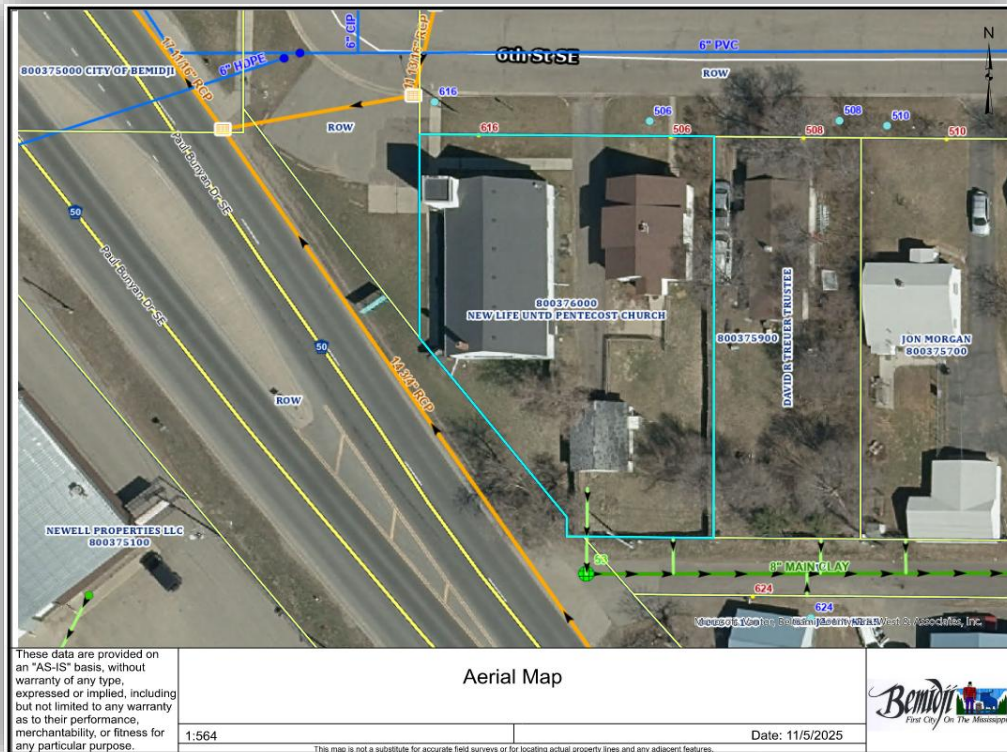
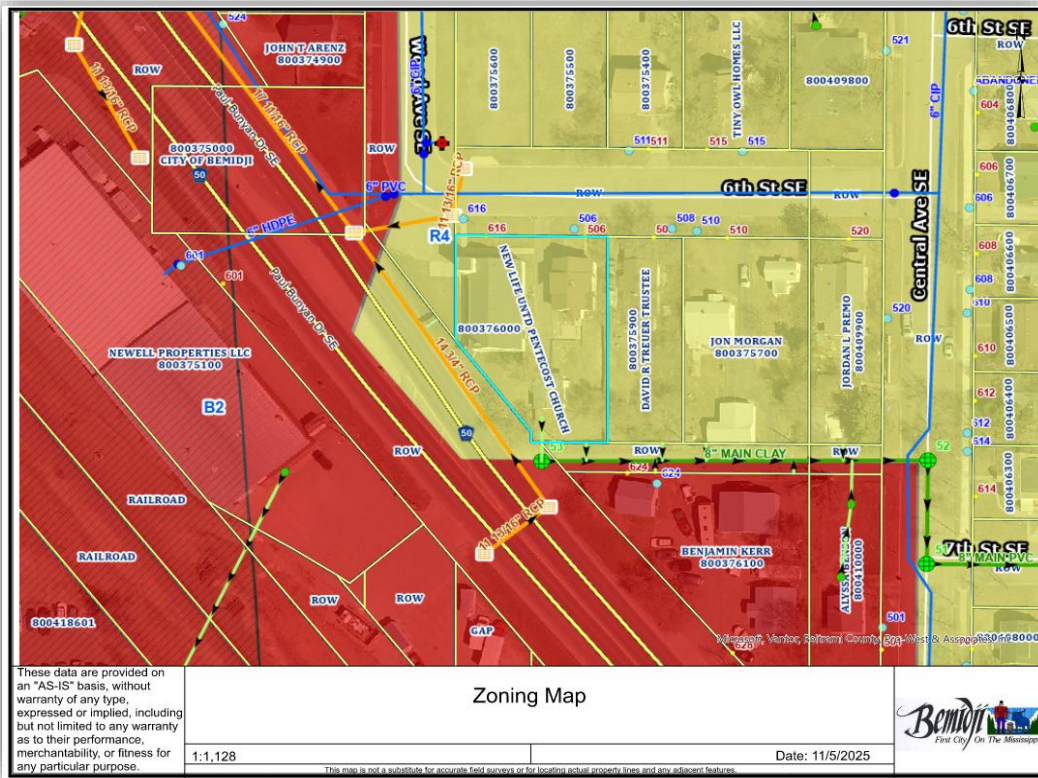
I. *Planning Considerations*

When reviewing zoning requests, it is imperative to ensure that “spot zones” are not created. Spot zoning allows for a particular parcel of land to have land uses differing from land uses allowed in adjacent and small regional areas and is likely a deviation from the land use plan.



Existing Conditions

The subject property has been used most recently as the New Life United Pentecost Church and is situated between 6th St SE and Paul Bunyan Drive SE. The property contains a church and a residential house and garage.



City's Future Land-Use Map

The future land-use map shows that this area is slated for Mixed Use / High Density Residential to serve as a buffer between commercial zoning to the south and west and moderate density residential to the north and east.



If the subject lot was rezoned to B-2, it would follow the future land-use map, allowing Commercial Use permitted land uses such as: **Businesses providing office, retail trade, or services for individuals or businesses.**

Landscaping (trees)

Road frontage trees will be required per Section 28-406 of the Ordinance along with greenspace. The applicant will need to plant a total of at least four (4) trees in total along the road frontages.

Parking

Business and Professional Offices need the following:
One (1) space for each three hundred (300) square feet of gross floor area, plus one (1) space for each employee on max shift. The applicant states there will be five office spaces for the business. The Applicant will utilize the existing parking space adjacent to the building until they can figure out potential ownership of the parking area.

II. Comments

Development plans will be reviewed by all officials for compliance with City of Bemidji regulations.

Sam Anderson, City of Bemidji City Engineer, and Public Works Director, Comments:

Good afternoon,

No major engineering related concerns.

Thanks,

Sam Anderson, P.E. | City Engineer/Director of Public Works | City of Bemidji
218-333-1851 | sam.anderson@ci.bemidji.mn.us

Bruce Hasbargen, County Engineer, Comments:

The Beltrami County Highway Division does not have any issues or concerns with this request.

Bruce Hasbargen

County Engineer

Neighborhood Comments

No comments at the time of writing the report.

III. *Comprehensive Plan References*

Objective 4.2: Preserve and Promote Commercial and Industrial Redevelopment or In-Fill Development Where Appropriate

Providing opportunity for commercial and industrial redevelopment is imperative to reduce urban sprawl and increase land use densities where appropriate. Land use planning can preserve existing developed areas and ensure land is available as well as compatible for increased development.

- 2. Identify areas where commercial and industrial uses should be located, specifically adjacent to highways with controlled access where noise, odor, dust, and glare will have minimal impact.*** *When reviewing new commercial and industrial land uses, ensuring these areas are appropriate and compatible with opportunity to be successful. Piecemeal development of industrial and commercial land uses can increase urban sprawl and have negative impacts on existing, less intense surrounding land uses.*

Objective 6.2: Promote and Maintain the Status of an Economic Regional Center

The City of Bemidji has become an economic regional center for northern Minnesota. The community will continue to provide the amenities for shopping, recreation, and entertainment that keep jobs and people coming to the area.

- 1. Promote the expansion of diverse industries in the region.*** *The City of Bemidji will allow for a variety of land use types for commercial and industrial uses, ensuring a diverse and stable economy.*

Zoning Ordinance References

Section 28-122 – Lot Size and Bulk Regulations by Zoning Districts

Section: 28-402 Trash Enclosure

Section: 28-406 Landscaping Requirements

Section: 28-407 Tree Preservation

Section: 28-408 Lighting

Section: 28-409 Parking Standards

Section: 28-524 Conditional Use Permits

Section 28-526 - Amendments; Text or Zoning District

Section: 28-527 - Public Notice and Hearing Requirements

IV. RECOMMENDATION & FINDINGS - LAND USE MAP AMENDMENT

The Planning Commission must decide whether the (Rezone) Land Use Map Amendment from R-4 Moderate Density Residential to B-2 General Commercial zoning district for parcels 800376000 meets the ordinance and comprehensive plan, with the following findings of fact:

Findings of Fact - Rezone

1. Whether the change in classification would be consistent with the intent and purpose of this Ordinance.

Yes. The current intent and proposed future land use are consistent with the B-2 General Commercial Zoning District as the Future Land Use Map shows this area as mixed use commercial and high density residential.

2. Whether every use that would be permitted on the property if it were reclassified would be compatible with the uses permitted on other property in the immediate vicinity.

Yes. (B-2) General Commercial Zoning District would create a transitional zone from the Commercial into Residential zoning districts. The proposed rezone follows the City of Bemidji Comprehensive Plan and Future Land Use Map as well.

3. Whether adequate sewer and water facilities, and all other needed public services, exist or can be provided to serve the uses that would be permitted on the property if it were reclassified.

Yes. These parcels are served by City water and sewer.

4. Whether the proposed amendment would correct an error in the application of this Ordinance.

No. This is not a correction. This rezone request would be in line with the Future Land Use Map, Comprehensive Plan, and City Development Code. This proposed amendment would also be in line with the changing needs of the City of Bemidji.

5. Whether the proposed amendment is made necessary because of changed or changing conditions in the area affected, and, if so, the nature of such changed or changing conditions.

Yes. These lots are currently zoned R-4 Moderate Density Residential. The conditions of the area have changed as the church is not used as a church any longer and other uses are being sought.

V. RECOMMENDATION & FINDINGS - CONDITIONAL USE PERMIT (CUP)

Conclusion based on the Ordinance and the Comprehensive Plan.

The Planning Commission must decide whether the conditions are sufficient for approval of a Conditional Use Permit (CUP) for a Mixed Use (Commercial & Residential) for a rental house and office space on the property. The subject property is located at 506 and 616 6th St. SE (PIN 800376000) in the City of Bemidji.

The following are the proposed conditions and findings of fact:

Conditions

1. All exterior lighting on-site shall comply with Section 28-408 of the Ordinance.
2. All dumpsters on-site shall be fully enclosed complying with Section 28-402 of the Ordinance.
3. A landscaping plan meeting Section 28-406 of the Ordinance shall be submitted for review and approval. Trees and landscaping must be planted and maintained within 12 months of approval of the CUP.
4. A parking plan meeting Section 28-409 of the Ordinance shall be submitted for review and approval and work completed within 12 months of approval of the CUP.
5. The CUP shall expire and become void if the use it allows is not substantially started within twelve (12) months from its date of issuance. A substantial start means more than preliminary steps have been taken such that preparations to initiate the use are mostly complete. The City of Bemidji may, upon written request of the owner, grant an extension to this deadline not to exceed an additional twelve (12) months.

Findings of Fact

- 1. Whether the proposed use adversely affects the public safety, health, morals, convenience, and general welfare of the occupants of the surrounding land.**
The proposed use is not anticipated to adversely affect, nor create an unreasonable level of disruption or interference upon the surrounding area.
- 2. Whether the proposed use adversely affects traffic conditions and parking on adjacent streets and land.**
This use should not have an impact on the adjacent street and/or land as the parking for the business is currently utilized on the side of building the building. A parking space for the rental is in the current driveway.
- 3. Whether the proposed use adversely affects property in the surrounding area.**
The proposed use is not anticipated to adversely affect, nor create an unreasonable level of disruption or interference upon the surrounding area.
- 4. Whether the proposed use is in conformance with the community's Comprehensive Plan or Land Use Plan.**
The proposed use is consistent with the goals and policies of the City of Bemidji Comprehensive Plan as well as the City Code through an approved CUP.
- 5. Whether adequate utility, drainage and other such necessary facilities have been or can be provided.**
The property has adequate infrastructure and is served by City services.



Application

ZOA-2025-0004

REZONING/ZONING ORDINANCE AMENDMENT

SITE ADDRESS: 506 6TH ST SE BEMIDJI

PRIMARY PARCEL: 800376000

PROJECT NAME: VISION PROPERTIES OF BEMIDJI - RE-ZONE

ISSUED:

EXPIRES:

APPLICANT: Erholtz, Andrew
1421 Bemidji Ave N #3
Bemidji, MN 56601
2185567795

OWNER: NEW LIFE UNTD PENTECOST CHURCH
506 6TH ST SE
BEMIDJI, MN 56601

Detail Name	Detail Value
Select the type of amendment request from the list	Zoning District Change
Zoning District Change: Please indicate the current district and indicate the district you are requesting a change to.(If this does not apply, enter N/A)	Current district- R4 Change to B2
Zoning Text Change: Please describe the proposed text amendment.(If this does not apply, enter N/A)	N/A
Zoning District Change: Describe the proposed use of your property after the amendment.	Office space for the church building. Residential rental for house
Zoning District Change: Describe the existing use of your property.	Vacant- not used. Was a church and parsonage.
Zoning District Change: Describe what changes you feel have led to the request being sought.	Church building needs to be used. Has been vacant for four years.
Zoning District Change: How will the change affect the use of the property?	Will be occupied and maintained.
Describe how the change will benefit the surrounding area and the City of Bemidji over time.	We will be paying taxes and using the building in the community.
Zoning District Change: What are the zoning districts of the properties (adjacent/included) by this request?	Properties to the north and east are residential. Other properties along Paul Bunyan Drive are Commercial.
Zoning District Change: Are there any easements that may be impacted by this zoning change?	Yes
Zoning District Change: Do adequate sewer and water facilities exist or can they be provided for the proposed changes that may occur should this amendment be approved?	Yes
Zoning Text Change: If the proposed amendment will correct an error in the application of the Zoning Ordinance, describe that error (or "N/A")	N/A
Zoning Text Change: Are there any other considerations, not addressed above, that would help the City of Bemidji Planning & Zoning Board determine whether the amendment should be made? Please describe (or "N/A")	See attached Narrative document



Escrow Payer Name (Who should the check for the escrow funds be made out to when the project is complete?) Vision Properties of Bemidji

Escrow Payer Mailing Address 422 4th St SE Suite A

I hereby certify that I am the owner or authorized agent of the owner of the above described property and that all uses will conform to the provisions of the City of Bemidji Development Code. I further certify that I will comply with all conditions placed upon this permit should this application be approved. Intentional or unintentional falsification of this application or any attachments thereto will serve to make this application and any resultant permit invalid. I Certify

I also authorize the City of Bemidji Planning staff to inspect the property during review of this application and subsequent construction during reasonable times of the day. I Authorize

CONDITIONS

* An escrow account is established to cover technical and legal expenses incurred by the City of Bemidji as part of the plan review. The applicant is responsible for all costs incurred by the City during plan review. If the escrow amount drops below 10% of the original deposit amount the City may require submittal of an additional escrow deposit sufficient to cover any anticipated expenses. Upon determination by the City that the project is complete or expired, the City will return the remaining escrow deposit to the applicant.

FEES:	<u>Paid</u>	<u>Due</u>
Zoning Map/Text Amendment Fee	\$600.00	\$0.00
Planning Escrow Deposit	\$500.00	\$0.00
Totals :	\$1,100.00	\$0.00



Application

SUP-2025-0014

CONDITIONAL OR INTERIM USE PERMIT

SITE ADDRESS: 506 6TH ST SE BEMIDJI

PRIMARY PARCEL: 800376000

PROJECT NAME: VISION PROPERTIES OF BEMIDJI CUP FOR MIXED USE

ISSUED:

EXPIRES:

APPLICANT: Erholtz, Andrew
1421 Bemidji Ave N #3
Bemidji, MN 56601
2185567795

OWNER: NEW LIFE UNTD PENTECOST CHURCH
506 6TH ST SE
BEMIDJI, MN 56601

Detail Name

Select the type of use permit application from the list:

Describe the proposed use of your property:

Describe the existing use of your property:

Are you aware of any existing Use Permits or Variances for this property?

Will the proposal generate increased traffic over existing conditions?

Will the proposal require additional parking spaces?

How many people will occupy your premises on an average day? Please provide numbers for employees, customers, and residents.

Will your proposal increase water usage or sewage generation over the existing use?

Will your proposal generate additional waste?

Describe your disposal method .

Does your property contain low areas, wetlands, or areas with standing water?

Please explain if you intend to drain, fill or otherwise alter this area for any reason (If this does not apply, enter N/A)

Escrow Payer Name (Who should the check for the escrow funds be made out to when the project is complete?)

Escrow Payer Mailing Address

Detail Value

Conditional Use

Residential and office space in two buildings

Vacant church and parsonage

No

No

No

employees- 4-5, customers- 7 throughout the day (one at a time)

No

No

City of Bemidji garbage pickup

No

N/A

Vision Properties of Bemidji

422 4th St SE, Suite A, Bemidji MN 56601



I hereby certify that I am the owner or authorized agent of the owner of the above described property and that all uses will conform to the provisions of the City of Bemidji Development Code. I further certify that I will comply with all conditions placed upon this permit should this application be approved. Intentional or unintentional falsification of this application or any attachments thereto will serve to make this application and any resultant permit invalid. I certify

I also authorize City of Bemidji staff to inspect the property during review of this application and subsequent construction during reasonable times of the day. I certify

CONDITIONS

* An escrow account is established to cover technical and legal expenses incurred by the City of Bemidji as part of the plan review. The applicant is responsible for all costs incurred by the City during plan review. If the escrow amount drops below 10% of the original deposit amount the City may require submittal of an additional escrow deposit sufficient to cover any anticipated expenses. Upon determination by the City that the project is complete or expired, the City will return the remaining escrow deposit to the applicant.

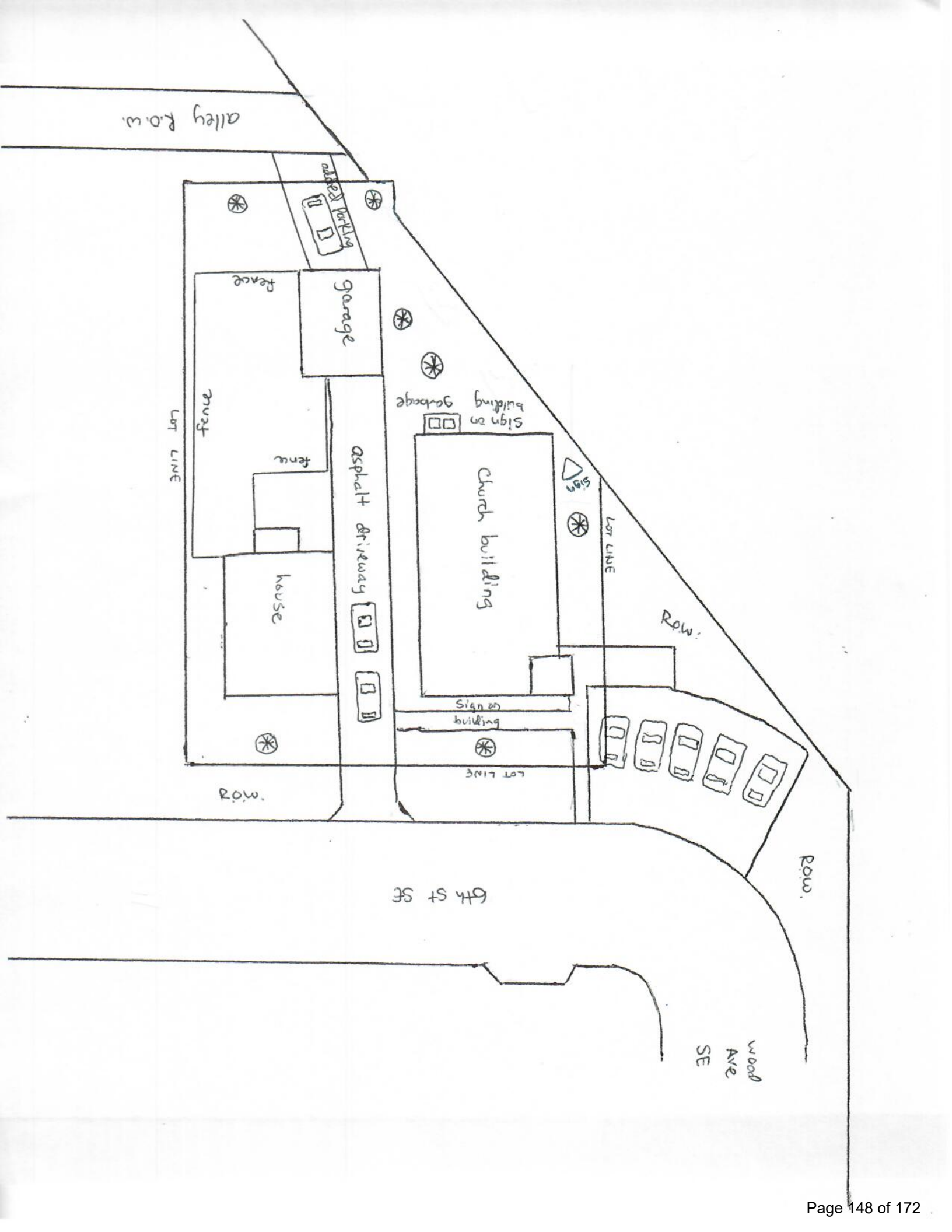
* A Conditional Use or Interim Use Permit shall expire and become void if it is not acted upon within twelve (12) months from its date of issuance. A substantial start means more than preliminary steps have been taken such that preparations to initiate the required work are mostly complete. Bemidji Planning may, upon written request of the owner, grant an extension to this deadline not to exceed an additional twelve (12) months.

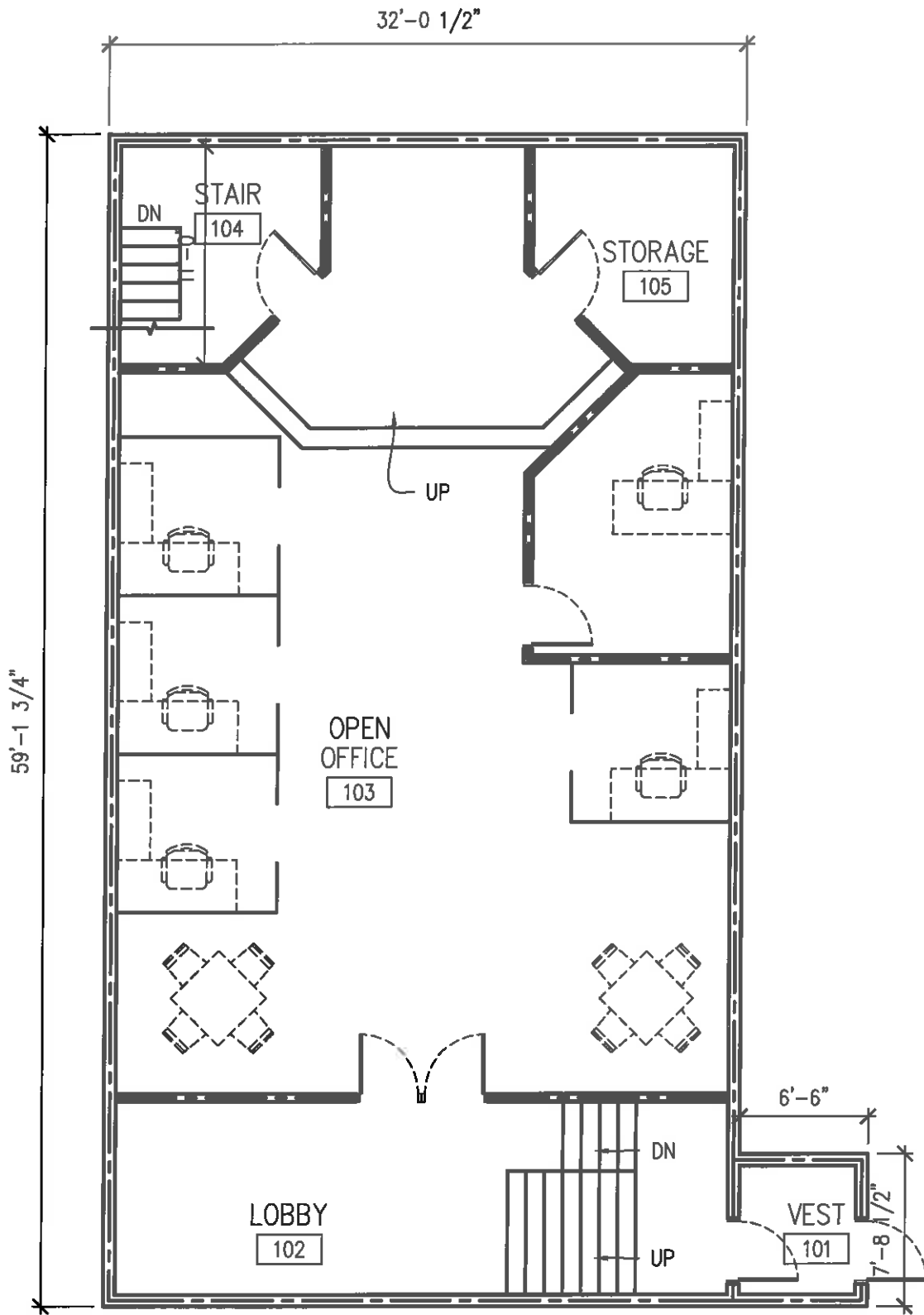
FEES:	<u>Paid</u>	<u>Due</u>
Planning Escrow Deposit	\$500.00	\$0.00
PLN Special/Conditional/Interim Use Permit	\$500.00	\$0.00
Totals :	\$1,000.00	\$0.00

The information on this map is provided on an "as-is" basis without warranty of any type, expressed or implied, including but not limited to any warranty as to its accuracy, currency, suitability, or reliability for any purpose.

This map is not a substitute for a land survey and should not be used for locating property lines or other boundaries. Lines on this map are approximate.
Scale 1:575
Date: 10/31/2025



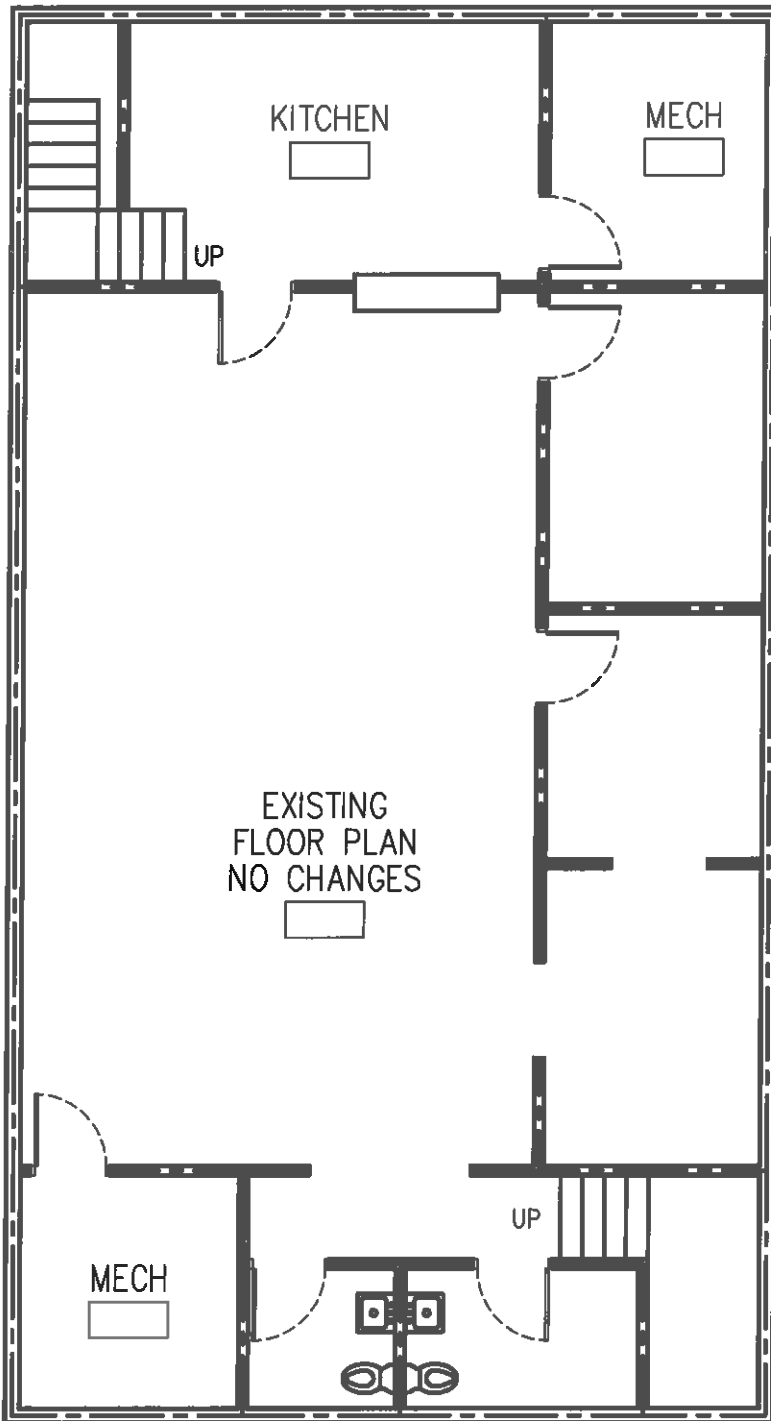




1
A201

FIRST FLOOR PLAN

1/8" = 1'-0"



1
A200

BASEMENT FLOOR PLAN

1/8" = 1'-0"

Narrative for 506 6th St SE

Vision Properties Management Company started in my wife's Red Umbrella office at 422 4th Street Southeast in 2012 when I got my real estate license. We moved to our current location at 1421 Bemidji Avenue so we could have a professional space of our own in 2016.

Last year, we purchased and started to renovate some run-down property at 1916 and 2002 Roosevelt for the maintenance company.

Now the opportunity to have our headquarters back in this neighborhood has presented itself. I plan to continue operating my management company long into the future. I have an excellent team of four people in the office. I am wanting a conditional use permit, which would allow us to have office space for up to seven people.

We operate during business hours from 9 to 4 Monday to Friday. Not all of us are in the office all the time. Often some of us are gone for showings, inspections, or working from home.

We would manage the house next to the church as a very nice residential rental.

The lots across 6th street would be excellent for two additional homes in the neighborhood. I do not have any specific plans for those lots at this time. Each one could be sold to someone wanting to build a new house.

Off street parking is not a problem for the office, as long as we can use the parking at the south end of the Right Of Way on Wood Avenue. We currently have an average of 2-4 employee vehicles at the office during the day.

We plan to bring the office building and house up to the standards needed for licensing. We need to be zoned for commercial property with a conditional use permit, as both commercial office and residential rental buildings will be on the same parcel.

This property will be put on the tax roll for the first time in decades to help support the city services in the area.



Planning and Zoning Department
City of Bemidji

317 4th Street NW Bemidji, MN 56601 Office (218) 759-3579 Fax (218) 759-3591

November 5, 2025

ZOA-2025-0004 & SUP-2025-0014: - Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezone) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

The City of Bemidji Planning and Zoning Commission will consider this proposal at its meeting on **Thursday, November 20, 2025**, at **5:30 p.m.** in the Council Chambers at Bemidji City Hall and may be viewed on local Channel 2.

If you have any comments, you may present them to the Commission at that time. It would be encouraged to direct your comments in writing to the Planning and Zoning Planner assigned to the Case, Jamin Carlson's attention at the Planning office at 317 4th Street NW, or by email at **SGAdmin@ci.bemidji.mn.us**. If possible, your comments should be submitted by **Friday, November 14, 2025**, so they may be incorporated into our report to the Planning and Zoning Commission. The report, along with any other pertinent information regarding this planning case will be available prior to the meeting on our website ([City of Bemidji/Boards, Commissions, and Committees/Planning Commission](#)) and at city hall. Attached is a copy of the application and other supporting documentation.

If you have any questions or need further information, please feel free to contact our office at 218-759-3579 or email the planner of the case (see email address above). City departments may access through SmartGov application **ZOA-2025-0004 & SUP-2025-0014**.

Respectfully,

City of Bemidji Planning and Zoning Department



Planning & Zoning Department
City of Bemidji

317 4th Street NW Bemidji, MN 56601 Office (218) 759-3579 Fax (218) 759-3591

November 7, 2025

Dear Property Owner:

The City of Bemidji Planning and Zoning Commission will conduct a public hearing to discuss the following application:

ZOA-2025-0004 & SUP-2025-0014: - Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezone) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

This public hearing will be held on **Thursday, November 20, 2025, at 5:30 p.m.** The meeting will be held in the Council Chambers of the Bemidji City Hall located at 317 4th Street NW and may be viewed on local Channel 2. You are invited to attend this public hearing, express your opinions on the proposal at the hearing, if not able to attend, by email (preferred method), letter, or phone call to the Planning and Zoning Department. If possible, your written comments should be submitted by **Friday, November 14, 2025**, so they may be incorporated into our report to the Planning Commission. **Our report, along with any other pertinent information regarding this planning case will be available prior to the meeting on our website ([City of Bemidji/Boards, Commissions, and Committees/Planning Commission](#)) and at city hall.**

If you have any questions, please feel free to contact us at (218) 759-3579, or email comments to SGAdmin@ci.bemidji.mn.us.

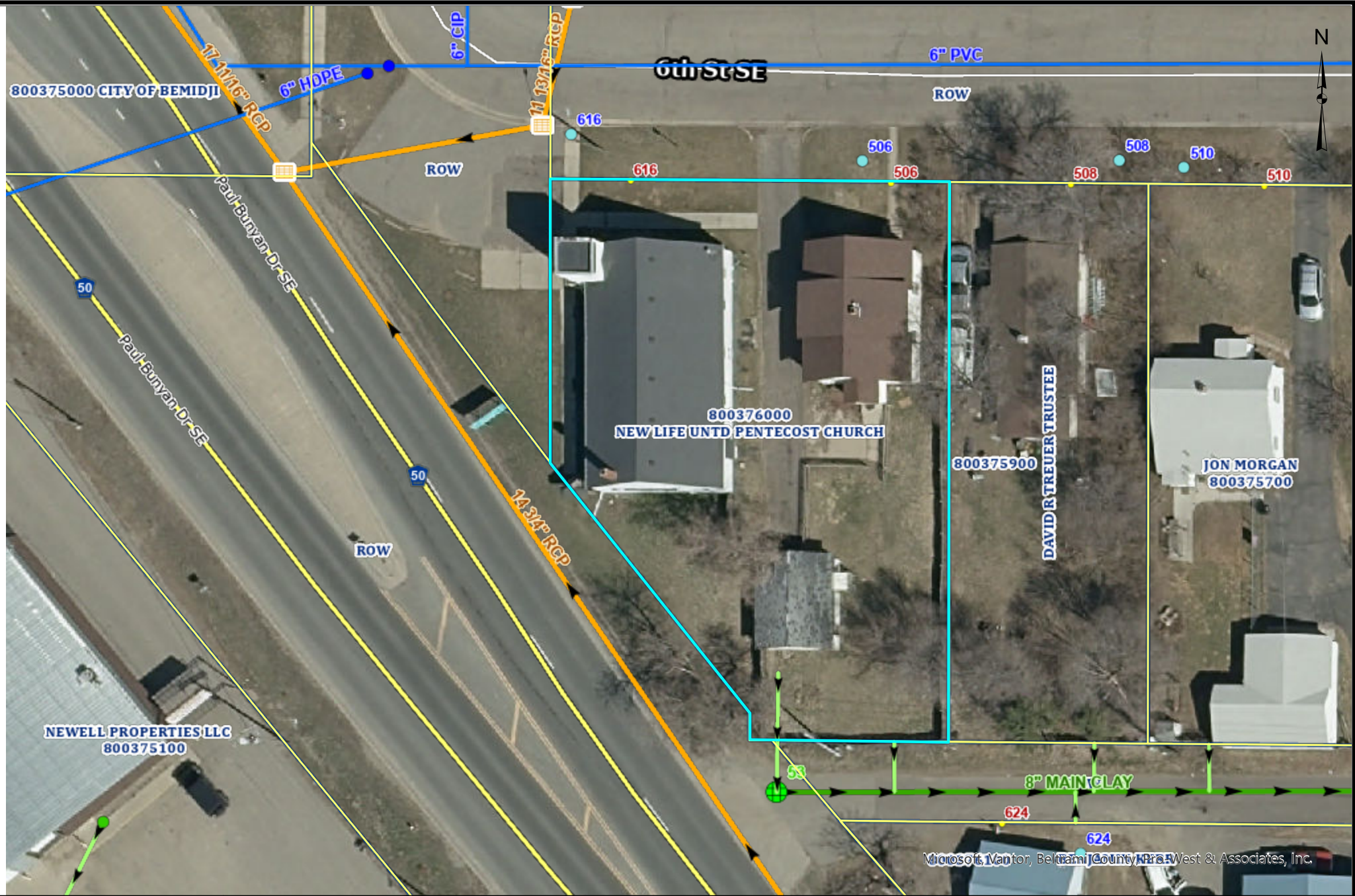
Respectfully,

Planning & Zoning Department

Packet Distribution List

ZOA-2025-0004 & SUP-2025-0014

	<u>Contact</u>	<u>E-MAILED</u>	<u>US Mailed</u>
<input checked="" type="checkbox"/>	Applicant / Representative	11/5/25	_____
<input checked="" type="checkbox"/>	City Building Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Zoning Attorney	11/5/25	_____
<input checked="" type="checkbox"/>	City Engineer	11/5/25	_____
<input checked="" type="checkbox"/>	City Manager	11/5/25	_____
<input type="checkbox"/>	City Community Development	_____	_____
<input checked="" type="checkbox"/>	City GIS Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Police Department	11/5/25	_____
<input checked="" type="checkbox"/>	City Fire Department	11/5/25	_____
<input type="checkbox"/>	City Parks Department	_____	_____
<input type="checkbox"/>	Beltrami County ESD/SWCD	_____	_____
<input type="checkbox"/>	Beltrami County Recorder	_____	_____
<input type="checkbox"/>	Beltrami County GIS Department	_____	_____
<input type="checkbox"/>	Beltrami County Sheriff	_____	_____
<input checked="" type="checkbox"/>	Beltrami County Engineer / Highway	11/5/25	_____
<input type="checkbox"/>	Beltrami County Natural Resources	_____	_____
<input type="checkbox"/>	MnDNR Trails	_____	_____
<input type="checkbox"/>	MnDNR Waters	_____	_____
<input type="checkbox"/>	MnDNR District	_____	_____
<input type="checkbox"/>	MnDOT	_____	_____
<input type="checkbox"/>	Airport	_____	_____
<input type="checkbox"/>	Bemidji School District	_____	_____
<input type="checkbox"/>	MPCA Closed Landfill Program	_____	_____
<input type="checkbox"/>	U.S. Army Corps of Engineers	_____	_____
<input type="checkbox"/>	Minnesota Chippewa Tribe	_____	_____
<input type="checkbox"/>	Red Lake Nation DNR	_____	_____
<input type="checkbox"/>	White Earth Nation DNR	_____	_____
<input type="checkbox"/>	Leech Lake Band DRM	_____	_____
<input checked="" type="checkbox"/>	Bemidji Sustainability Commission	11/5/25	_____
<input type="checkbox"/>	Other: _____.	_____	_____



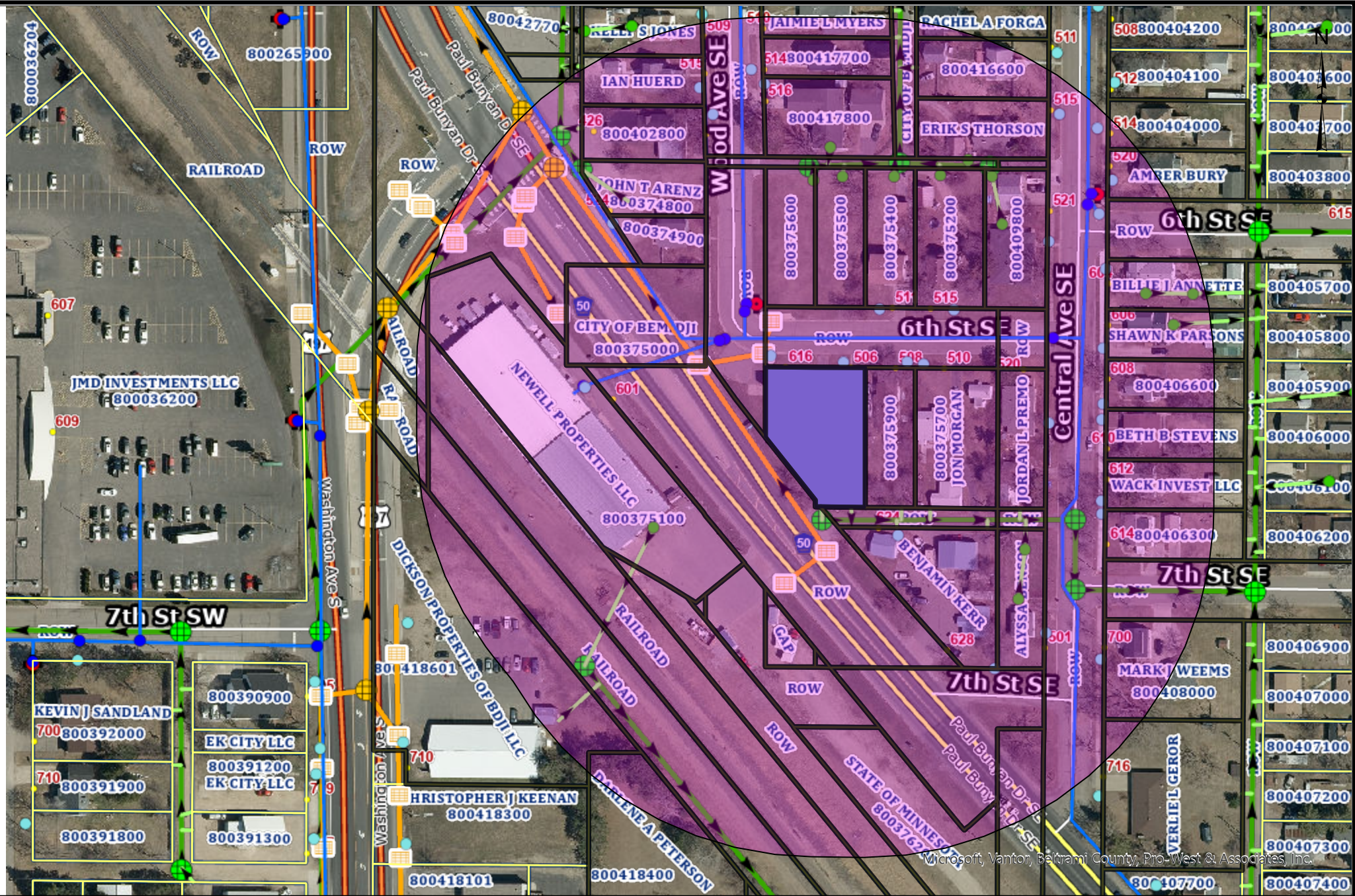
These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

<h1>Aerial Map</h1>	
1:564	Date: 11/5/2025
This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.	



Bemidji
First City On The Mississippi

Page 155 of 172



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

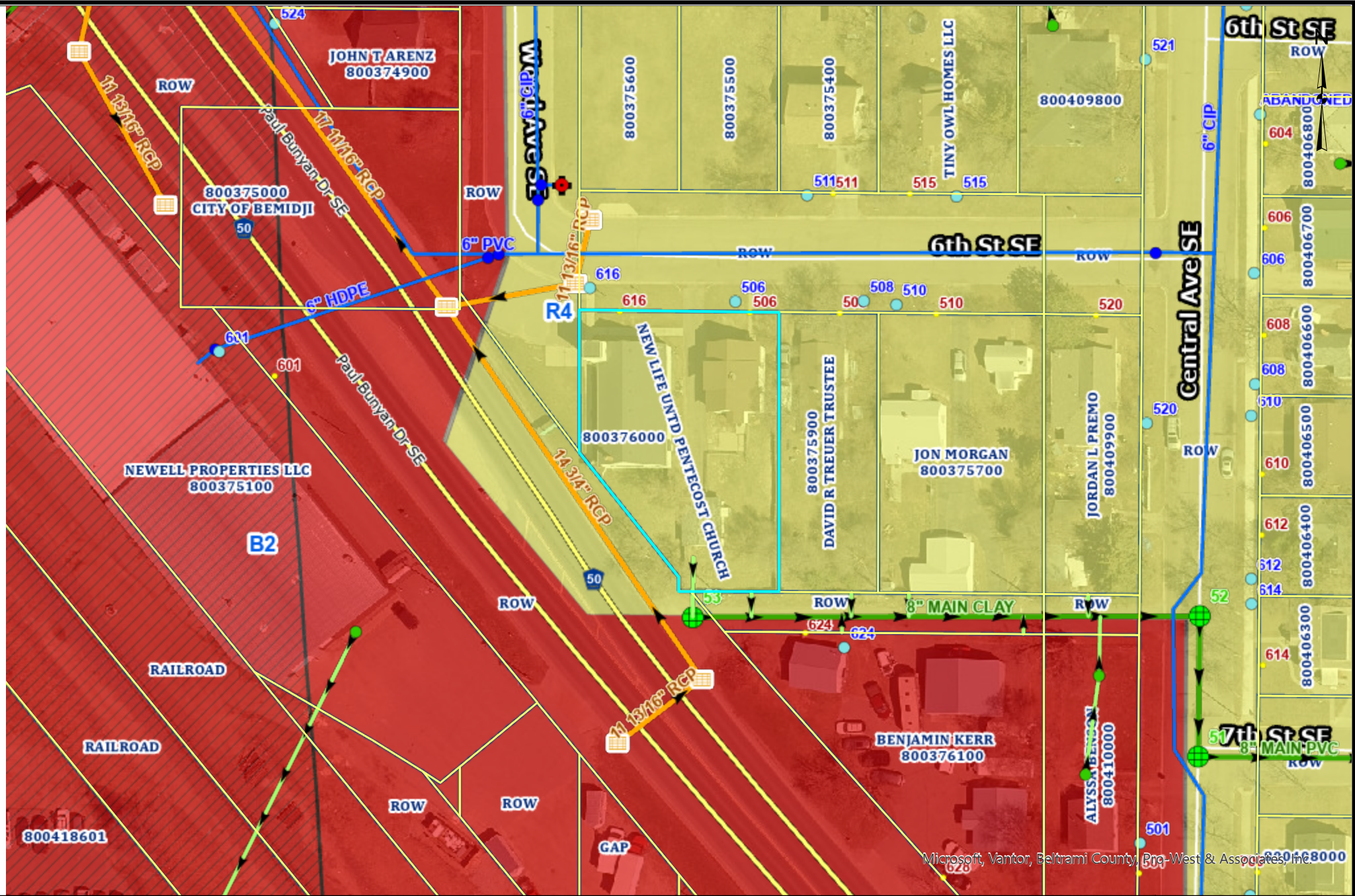
1:2,257

Buffer Map

Date: 11/5/2025



This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.



Microsoft, Vantor, Beltrami County, Prg-West & Associates, Inc.

These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Zoning Map

1:1,128

Date: 11/5/2025

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.



KELLY S JONES
509 WOOD AVE SE
BEMIDJI, MN 56601

JACQUELYN HAZEMAN TRUSTEE
HAZEMAN - WHELAN FAMILY LIVING TRUS
6615 JACKPINE RD NW
BEMIDJI, MN 56601

WACK INVEST LLC
507 JEFFERSON AVE NW TRLR 66
BEMIDJI, MN 56601

NEW LIFE UNTD PENTECOST CHURCH
506 6TH ST SE
BEMIDJI, MN 56601

SHAWN K PARSONS
606 CENTRAL AVE SE
BEMIDJI, MN 56601

RACHEL A FORGA
503 CENTRAL AVE SE
BEMIDJI, MN 56601

DAVID R TREUER TRUSTEE
DAVID R TREUER RVC TRUST
1666 ALBANY CT
CLAREMONT, CA 91711

UP NORTH REALTY LLC
2815 BEMIDJI AVE N
BEMIDJI, MN 56601

KATHERINE ROSSMAN
511 CENTRAL AVE SE
BEMIDJI, MN 56601

JOHN T ARENZ
49389 323RD AVE
CASS LAKE, MN 56633

CHRISTOPHER GLENN SKIME
521 6TH ST SE
BEMIDJI, MN 56601

AMBER BURY
520 CENTRAL AVE SE
BEMIDJI, MN 56601

JORDAN L PREMO
520 6TH ST SE
BEMIDJI, MN 56601

CITY OF BEMIDJI
317 4TH ST NW
BEMIDJI, MN 56601

VERLIE L GEROR
716 CENTRAL AVE SE
BEMIDJI, MN 56601

ASPEN EASTERLING
514 CENTRAL AVE SE
BEMIDJI, MN 56601

IAN HUERD
515 WOOD AVE SE
BEMIDJI, MN 56601

LEROY L F STENSTROM
SANDREA STENSTROM
516 WOOD AVE SE
BEMIDJI, MN 56601

TINY OWL HOMES LLC
263 CRANE LAKE VW NW
BEMIDJI, MN 56601

STATE OF MINNESOTA
500 LAFAYETTE RD
ST PAUL, MN 51155

BENJAMIN KERR
39708 OLD BROOK RD
LAPORTE, MN 56461

WESLEY L MYERS
PO BOX 2096
BEMIDJI, MN 56619

NEW LIFE WORSHIP CENTER
616 WOOD AVE SE
BEMIDJI, MN 56601

ERIK S THORSON
515 CENTRAL AVE SE
BEMIDJI, MN 56601

MN DEPT OF TRANSPORTATION
395 JOHN IRELAND BLVD
ST PAUL, MN 55155

PAN-O-GOLD REALTY CO
PO BOX 848
ST CLOUD, MN 56302

MICHAEL PAUL MAGNAN
14762 TOM JEFFERSON DR NW
SOLWAY, MN 56678

DICKSON PROPERTIES OF BDIJ LLC
3726 BIRCHMONT DR NE
BEMIDJI, MN 56601

BETH B STEVENS
610 CENTRAL AVE SE
BEMIDJI, MN 56601

NEWELL PROPERTIES LLC
3481 LAUREL DR NW # 6
BEMIDJI, MN 56601

DARLENE A PETERSON
423 ROOSEVELT RD SE
BEMIDJI, MN 56601

BILLIE J ANNETTE
604 CENTRAL AVE SE
BEMIDJI, MN 56619

ALYSSA BENSON
501 7TH ST SE
BEMIDJI, MN 56601

JON MORGAN
510 6TH ST SE
BEMIDJI, MN 56601

JAIMIE L MYERS
510 WOOD AVE SE
BEMIDJI, MN 56601

MARK J WEEMS
LAURIE A WEEMS
PO BOX 804
BEMIDJI, MN 56619

HOUSING & REDEVELOPMENT
AUTHORITY OF BEMIDJI
619 AMERICA AVE NW
BEMIDJI, MN 56601



AFFIDAVIT OF PUBLICATION

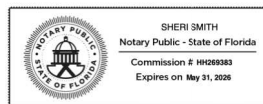
State of Florida, County of Broward, ss:

Anjana Bhadoriya, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of the The Bemidji Pioneer, a newspaper printed and published in the City of Bemidji, County of Beltrami, State of Minnesota.

1. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.
2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.
3. The dates of the month and the year and the day of the week upon which the public notice attached/copied below was published in the newspaper are as follows: Saturday, November 8, 2025
4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to §331A.06, is as follows: \$13.00 per column inch.
5. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in BELTRAMI County. The newspaper complies with conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

Anjana Bhadoriya

(Signed) _____



VERIFICATION

State of Florida
County of Broward

Subscribed in my presence and sworn to before me on this: 11/10/2025

S. Smith

Notary Public
Notarized remotely online using communication technology via Proof.

CITY OF BEMIDJI PLANNING AND ZONING COMMISSION

NOTICE OF PUBLIC HEARINGS & MEETINGS

NOTICE IS HEREBY GIVEN that on Thursday, November 20, 2025, at 5:30 PM or as soon thereafter as possible, the City of Bemidji Planning and Zoning Commission will conduct a Public Hearing in-person in the Council Chambers of Bemidji City Hall, located at 317 4th St. NW, Bemidji MN, and broadcasted on Channel 2, regarding the following request(s):

Conditional Use Permit Request: Ben Kerr representing Kodiak Builders, LLC requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

Conditional Use Permit Request: Greg Johnson representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 29 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 80008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

Interim Use Permit Request: Julie Canty representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 800420400) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay and Cannabis (Day Care Center) overlay.

Rezzone and Conditional Use Permit Request: Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezzone) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

Ordinance Text Amendment – City of Bemidji is requesting to amend the text of Chapter 28 of the Bemidji City Code Entitled "Development Code", Specifically amending Article X Performance Standards, Section 28-429 Cannabis Zoning and Land Use.

All interested parties are invited to attend the public hearing(s) and comment on the proposal(s). If you are unable to attend in person, comments can be submitted by email to SCAdmin@ci.bemidji.mn.us (preferred method), letter, or phone call to the Planning and Zoning Department. Call 218-759-3579 or visit our website at www.ci.bemidji.mn.us

for more information. If possible, your written comments should be submitted by **Friday, November 14, 2025**, so they may be incorporated into the staff report to the Planning Commission.
(Nov. 8, 2025)



CITY OF BEMIDJI PLANNING AND ZONING COMMISSION

NOTICE OF PUBLIC HEARINGS & MEETINGS

NOTICE IS HEREBY GIVEN that on Thursday, December 18, 2025, at 5:30 PM or as soon thereafter as possible, the City of Bemidji Planning and Zoning Commission will conduct a Public Hearing in-person in the Council Chambers of Bemidji City Hall, located at 317 4th St. NW, Bemidji, MN, and broadcasted on Channel 2, regarding the following request(s):

Conditional Use Permit Request: Ben Kerr representing Kodiak Builders, LLC requesting a Conditional Use Permit (CUP) to operate a Contractor's Shop and Storage Facility for their Construction business and Mixed Use (Commercial & Residential) for a rental house on the property. The subject property is located at 628 Paul Bunyan Dr SE (PIN 800376100) in the City of Bemidji and is in the B-2 General Commercial Zoning District.

Conditional Use Permit Request: Greg Johnson representing Tamarack Woods Apartments is requesting a Conditional Use Permit (CUP) for greater than 29 units of high density residential along with removing high quality significant trees beyond the base minimum landscape standard. The subject property is located at 2590 Ridgeway Ave NW (PIN 800008300) in the City of Bemidji. This property is zoned R-6 Multiple Family District.

Interim Use Permit Request: Julie Canby representing First City Cannabis is requesting an Interim Use Permit (IUP) for operating a Cannabis Retail Business in a leased building. The subject property is located at 920 Washington Ave S (PIN 800420400) in the City of Bemidji and is in the B-2 General Commercial Zoning District within the Highway 197 Overlay and Cannabis (Day Care Center) overlay.

Rezzone and Conditional Use Permit Request: Andrew Erholtz representing Vision Properties of Bemidji is requesting a Land Use Map Amendment (Rezzone) from R-4 Moderate Density Residential to B-2 General Commercial for the parcel and a Conditional Use Permit (CUP) for Mixed Use (Commercial & Residential) to rent the house on the property. The subject property is located at 506 and 616 6th St SE (PIN 80.03760.00) in the City of Bemidji.

Ordinance Text Amendment - City of Bemidji is requesting to amend the text of Chapter 28 of the Bemidji City Code Entitled "Development Code". Specifically amending Article X Performance Standards, Section 28-429 Cannabis Zoning and Land Use.

All interested parties are invited to attend the public hearing(s) and comment on the proposal(s). If you are unable to attend in person, comments can be submitted by email to SGAdmin@ci.bemidji.mn.us (preferred method), letter, or phone call to the Planning and Zoning Department. Call 218-759-3579 or visit our website at www.ci.bemidji.mn.us

AFFIDAVIT OF PUBLICATION

State of Florida, County of Orange, ss:

Edmar Corachia, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of the The Bemidji Pioneer, a newspaper printed and published in the City of Bemidji, County of Beltrami, State of Minnesota.

- 1. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.
2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.
3. The dates of the month and the year and the day of the week upon which the public notice attached/copied below was published in the newspaper are as follows: Saturday, December 6, 2025
4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to §331A.06, is as follows: \$13.00 per column inch.
5. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in BELTRAMI County. The newspaper complies with conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

Edmar Corachia

(Signed) _____

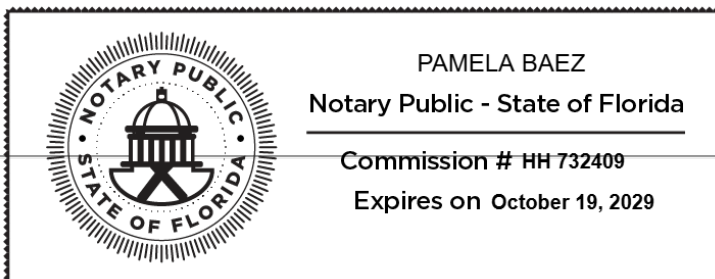
VERIFICATION

State of Florida
County of Orange

Subscribed in my presence and sworn to before me on this: 12/08/2025

[Signature]

Notary Public
Notarized remotely online using communication technology via Proof.



for more information. If possible, your written comments should be submitted by **Friday, December 12, 2025**, so they may be incorporated into the staff report to the Planning Commission.
(Dec. 6, 2025)



PLANNING COMMISSION

Meeting Date: Thursday, November 20, 2025 Postponed to December 18, 2025

Action Requested: Public Hearing and Recommendation to the Planning Board

Prepared By: Melissa Fahrenbruch, Assistant Planner

**Reviewed By: Jamin Carlson, Planning Director & Troy Gilchrist, Attorney
Town & Law Center**

The City of Bemidji approved a new ordinance to Chapter 28, Article X, Section 28-429 for Cannabis Business Zoning and Land Use at the end of 2024. Since then, the State Legislature has updated the state statute, and the Office of Cannabis has updated their guidance, prompting the city of Bemidji to update our ordinance to clarify language on Lower-Potency Hemp Edibles.

Recommendation:

Discuss and hold public hearing on the updates from staff. Provide recommendation to Planning Board.

Sec. 28-429. **Special Provisions for Cannabis Zoning and Land Use.**

- (a) Purpose. The purpose of this section is to protect the public health, safety, welfare of the City residents, and to promote the community's interest in reasonable stability in zoning, by regulating cannabis businesses within the legal boundaries of the City.
- (b) Authority. The City is authorized by Minn. Stat., Section 342.13(c) to adopt reasonable restrictions on the time, place, and manner of the operation of a cannabis business, including the adoption of zoning regulations under Minn. Stat., section 462.357. The City is also authorized to register cannabis businesses under Minn. Stat., Sections 342.22 and to regulate the use of cannabis in public places under 152.0263, subdivision 5. The intent of this section is to comply with the provisions of Minn. Stat., Chapter 342 and the rules promulgated thereunder. References to statutes shall include any amendments made to those sections and includes any successor provisions.
- (c) Definitions. The following words, terms, and phrases, when used in this section, shall have meanings given them in this section. Any term not defined in this section, or in section 28-9, shall have the meaning given the term in Minn. Stat., Section 342.01 or in the rules promulgated by the Minnesota Office of Cannabis Management.

Cannabis business has the meaning given the term in Minn. Stat., Section 342.01, subdivision 14 and includes all business listed thereunder. **The term does not include hemp businesses.**

Cannabis cultivator means a cannabis business licensed under Minn. Stat., Section 342.30 or a cannabis business endorsed to cultivate cannabis.

Cannabis delivery service means a cannabis business regulated by Minn. Stat., Section 342.41 or that is endorsed to deliver cannabis.

Cannabis Event Organizer means a cannabis business regulated by Minn. Stat., Section 342.39.

Cannabis manufacturer means a cannabis business licensed under Minn. Stat., Section 342.31 or that is endorsed to manufacture cannabis.

Cannabis retailer means a cannabis business regulated by Minn. Stat., Section 342.27. The term includes any cannabis business with a license or endorsement authorizing the retail sale of cannabis flower or cannabis products including, but not limited to, a cannabis microbusiness and a cannabis mezzobusiness.

Cannabis testing facility means a cannabis business regulated by Minn. Stat., Section 342.37.

Cannabis transporter means a cannabis business regulated by Minn. Stat., Section 342.35 or that is endorsed to transport cannabis.

Cannabis wholesaler means a cannabis business regulated by Minn. Stat., Section 342.33 or that is endorsed to sell cannabis at wholesale.

Hemp business means a hemp business regulated by Minn. Stat., Section 342.46. and includes lower potency hemp edible manufacturer; lower-potency hemp edible wholesaler; or lower-potency hemp edible retailer. Hemp business does not include a person or entity licensed under chapter 18K to grow industrial hemp for commercial or research purposes or to process industrial hemp for commercial purposes. **A hemp business is not considered a cannabis business for the purposes of this section.**

Hemp manufacturer means a lower-potency hemp edible manufacturer licensed under Minn. Stat., Section 342.45 or a business that is endorsed to manufacture lower-potency hemp edibles.

Hemp retailer means a lower-potency hemp edible retailer licensed under Minn. Stat., Section 342.46, or a business endorsed to sell lower-potency hemp edibles at retail.

Low-potency Hemp Edible means any product that is intended to be eaten or consumed as a beverage by humans; contains hemp concentrate or an artificially derived cannabinoid, in combination with food ingredients; is not a drug; does not contain a cannabinoid derived from cannabis plants or cannabis flower and as defined under Minn. Stat., Subd. 50.

Medical cannabis combination business means a cannabis business regulated by Minn. Stat., Section 342.515 or that is endorsed to engage in any activities authorized under that statute.

Office of Cannabis Management ("OCM") means the Minnesota Office of Cannabis Management.

Preliminary license approval means OCM pre-approval for a cannabis business license for applicants who qualify under Minn. Stat., Section 342.17.

- (d) Requirements. It is unlawful for any person to use property for a cannabis business, or to otherwise operate a cannabis business, in the City except in conformance with the requirements of this section and all other applicable laws, rules, regulations, and ordinances.
- (1) Zoning Districts. Specific types of cannabis and hemp businesses are only allowed to operate in the zoning districts as indicated below and are prohibited from operating in any other zoning districts.
- a. Cannabis Cultivator: C, R-1, B-1, OM, I-1, and I-2.
 - b. Cannabis Manufacturer: I-1 and I-2.
 - c. Hemp Manufacturer: B-1, B-2, I-1, and UR.
 - d. Cannabis Testing Facility: I-1, and I-2.
 - e. Cannabis Wholesaler: B-1, B-2, I-1, I-2.
 - f. Cannabis Retailer: B-1, B-2, LC, LD, OM, and UR.
 - g. Cannabis Event Organizer: B-1, B-2, LC, LD, OM, and UR.
 - h. Cannabis Transporter: I-1 and I-2.
 - i. Cannabis Delivery Service: B-1, B-2, LC, and UR.
 - j. Lower-Potency Hemp Edibles Retail: B-1, B-2, LC, LD, OM, and UR.
 - k. Hemp Wholesaler: B-1, B-2, I-1, and I-2.
- (2) Medical cannabis combination business. A medical cannabis combination business shall be classified as a cannabis cultivator, cannabis manufacturer, and/or a cannabis retailer, depending on the scope of its operations, for the purposes of determining in which zoning districts the particular cannabis business may be located.
- (3) Interim use permit required. No cannabis business may operate within the City until it has applied for and obtained an interim use permit from the City in accordance with section 28-524. A cannabis business shall not begin any operations until the interim use permit has been issued and all other permits, licenses, and registrations have been obtained. A cannabis business shall comply with all conditions placed on the interim use permit. Failure to comply with any of the permit conditions, or with any applicable laws, rules, regulations, or ordinances, may result in the revocation of the interim use permit. [A hemp business is not required to obtain an interim use permit.](#)
- (4) Cannabis and Hemp licenses. No property may be used as a cannabis or hemp business without first obtaining a preliminary license approval or a license from the OCM, and if required by Bemidji City Code, an approved registration by the City Council as provided in Minn. Stat., Section 342.22.

-
- (5) Requirements and prohibitions. No cannabis business shall operate in a manner that violates, or fails to comply with, any of the following.
- a. No cannabis business authorized to sell at retail shall sell any cannabis flower or cannabis products in violation of any of the prohibitions in Minn. Stat., Section 342.27, subdivision 12.
 - b. All cannabis businesses must comply with the operational requirements and prohibitions contained in Minn. Stat., Section 342.24, including the need to create, follow, and maintain a security plan. The security plan must, at minimum, contain the following security features:
 - i. 24-hour security video surveillance of both the interior and exterior of the building that retains data for at least 30 days; and
 - ii. Provisions on how access will be restricted from restricted areas as required by Minn. Stat., Section 342.24, subdivision 3.
 - c. All cannabis businesses shall be located in a permanent building and may not be located in a temporary structure, trailer, cargo container, motor vehicle, or other similar nonpermanent enclosure.
- (6) Hours of operation. No cannabis business shall sell cannabis, cannabis flower, cannabis products, from 9:00 p.m. to 10:00 a.m.
- (7) Buffer zones. No cannabis business shall be located or operate within:
- a. 750 feet of a school;
 - b. 500 feet of a residential treatment facility or residential treatment center;
 - c. 500 feet of a daycare facility (Licensed Commercial Child Care); or
 - d. 500 feet of an attraction within a public park that is regularly used by minors including, but not limited to, playgrounds and athletic fields.
- (8) Clean Air Act. Any cannabis and hemp businesses shall comply with the Minnesota Clean Air Act, including maintaining a ventilation and filtration system sufficient to meet the requirements for odor control established by the OCM as required by Minn. Stat., Section 342.24, subdivision 4.
- (9) Building code. All cannabis and hemp businesses shall comply with all applicable building codes and fire codes.
- (10) Cannabis cultivation Additional Requirements. Any cannabis cultivation business shall meet the following requirements:
- a. Prepare, maintain, and follow an operating plan, which must be filed with the City, in accordance with Minn. Stat., Section 342.30. The operating plan shall comply with the City's Wellhead Protection Plan, which has been approved by the Minnesota Department of Health. The operating plan must be approved by the City Public Works Director, which approval will not be unreasonably withheld;
 - b. A cultivation plan, which must be filed with the City, shall be prepared, maintained, and followed in accordance with Minn. Stat., Section 342.25, subdivision 4. The cultivation plan, including any amendments, shall be approved by the Public Works Director prior to implementation, which approval will not be unreasonably withheld;
 - c. Comply with the size limitations as described in Minn. Stat., Section 342.30; and
 - d. Comply with all rules promulgated by the OCM.

-
- (11) Cannabis Manufacture Business Additional Requirements. Any cannabis manufacture business shall meet the following requirements:
- a. The manufacturing of cannabis shall take place in an enclosed locked facility that is used specifically for the manufacturing of cannabis products described in Minn. Stat., Section 342.26, subdivision 2;
 - b. As required under Minn. Stat., Section 342.26, subdivision 3, obtain, and file with the City certifications from an independent third-party industrial hygienist or professional engineer approving:
 - i. All electrical, gas, fire suppression, and exhaust systems; and
 - ii. The plan for safe storage and disposal of hazardous substances.
 - c. Comply with the City's Wellhead Protection Plan, which has been approved by the Minnesota Department of Health;
 - d. Comply with the size limitations established under Minn. Stat., Section 342.31;
 - e. Prepare, maintain, and follow an operating plan, which shall be filed with the City, as required by Minn. Stat., Section 423.31. The operating plan shall also comply with the City's Wellhead Protection Plan, as approved by the Minnesota Department of Health. The operating plan must be approved by the City's Public Works Director, and approval will not be unreasonably withheld; and
 - f. Comply with all rules promulgated by the OCM.
- (12) Cannabis Retail Additional Requirements. Any cannabis retail business shall meet the following requirements:
- a. Not operate a drive thru window;
 - b. Not operate a vending machine for the dispensing of any cannabis products; and
 - c. Prepare, file with the City, maintain, and follow an operating plan as required by Minn. Stat., Section 423.32.
- (13) Cannabis Microbusiness Additional Requirements. Any cannabis microbusiness shall comply with the requirements of Minn. Stat., Section 342.28.
- (14) Cannabis Mezzobusiness Additional Requirements. Any cannabis mezzobusiness shall meet the following requirements:
- a. Follow the size limitations as set out in Minn. Stat., Section 342.29, subdivision 2;
 - b. Prepare, maintain, and follow an operational plan, which shall be filed with the City and approved by the City's Public Works Director, and that includes the following:
 - i. All the information as required by Minn. Stat., Section 423.29 subdivision 3;
 - ii. Compliance with all applicable building and fire codes; and
 - iii. Compliance with the City's Wellhead Protection Plan as approved by the Minnesota Department of Health.

-
- (15) Cannabis Testing Facility Additional Requirements. Any cannabis testing facility shall meet the following requirements:
- a. Prepare, maintain and follow an operating plan as required under Minn. Stat., Section 342.37. The operating plan shall comply with the City's Wellhead Protection Plan, as approved by the Minnesota Department of Health. The operating plan must be approved by the City's Public Works Director, with approval not being unreasonably withheld; and
 - b. Maintain compliance with all applicable building and fire codes.
- (16) Lower-Potency Hemp Edible Manufacturing Additional Requirements. Any lower-potency hemp edible manufacturing business shall comply with the following requirements:
- a. All manufacturing shall take place in a facility and on equipment that meets the applicable health and safety regulations established by the OCM;
 - b. Obtain a certification from an independent third-party industrial hygienist or professional engineer approving all electrical, gas, first suppression, and exhaust systems, and the plan for safe storage and disposal of hazardous substances including, but not limited to, volatile chemicals; and
 - c. Comply with the City's Wellhead Protection Plan as approved by the Minnesota Department of Health, as determined by the City's Public Works Director.
- (17) Lower-Potency Hemp Edible Retail Business Additional Requirements. Any lower-potency hemp edible retail business shall comply with the following requirements:
- a. Cannot allow for dispensing of lower-potency hemp edibles in vending machines;
 - b. May only allow on-site consumption if the retailer also holds an on-site consumption endorsement from the OCM pursuant to Minn. Stat., Section 342.46, subdivision 8; and
 - c. Comply with all applicable building and fire codes.
- (18) Sales within Municipal Liquor Store.
The sale of low-potency edibles is permitted in a Municipal Liquor Store.
- ~~a.~~ Low potency hemp beverages are permitted in places that meet requirements of this ordinance.
 - ~~b.~~ Cannot allow for dispensing of lower-potency hemp edibles or beverages in vending machines.
 - ~~c.~~ Comply with all applicable building and fire codes.
- (19) Local Government as a Cannabis Retailer. The City of Bemidji may establish, own, and operate one municipal cannabis retail business subject to the restrictions in the ordinance.
- a. The municipal cannabis retail store shall not be included in any limitation of the number of registered cannabis retail businesses under Chapter 12, Article XXVI of the city code.
 - b. The City of Bemidji shall be subject to all same rental license requirements and procedures applicable to all other applicants.
- (20) Additional Provisions. The cannabis businesses shall comply with the requirements of Minnesota Statute Chapter 342 and any Rules promulgated by the OCM, which may be amended from time to time. (Ord. No. 213, 3rd series, § 3, 11-18-2024)

Editor's note(s)—Ord. No. 213, 3rd series, § 3, adopted Nov. 18, 2024, repealed the former § 28-429, and enacted a new § 28-429 as set out herein. The former § 28-429 pertained to special provisions for medical cannabis distribution and production and derived from Ord. No. 199, 3rd series, § 1, adopted Nov. 6, 2023.